



BID NUMBER: LDPWRI- B/20088

APPOINTMENT OF CONTRACTOR FOR COMPLETION OF BAKONE TRADITIONAL OFFICE IN THE WATERBERG DISTRICT THROUGH THE FRAMEWORK CONTRACT CATEGORY B

CIDB GRADE: 6GB

For the

THE DEPARTMENT OF COOPERATIVE GOVERNANCE, HUMAN SETTLEMENTS AND TRADITIONAL AFFAIRS

LIMPOPO PROVINCE

Issued by:

Limpopo Department of Public Works, Roads and Infrastructure
Works Towers Building
43 Church Street
Polokwane
0700

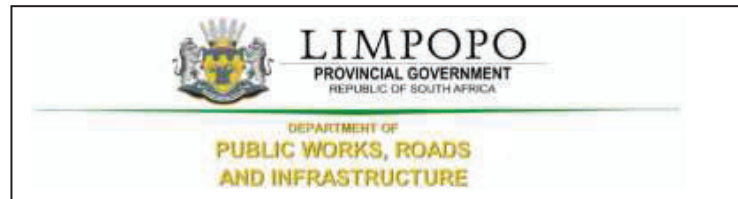
Contact Person: General Queries

Name : Mr NJ Motsopye,
Tel No. : 015 284 7126
Email : motsopyen@dpw.limpopo.gov.za

Technical: Technical Queries

Name : Mr. ZV Maluleke
Tel No. : 015 284 7219
Email : malulekev@dpw.limpopo.gov.za

Name of the Bidder:.....



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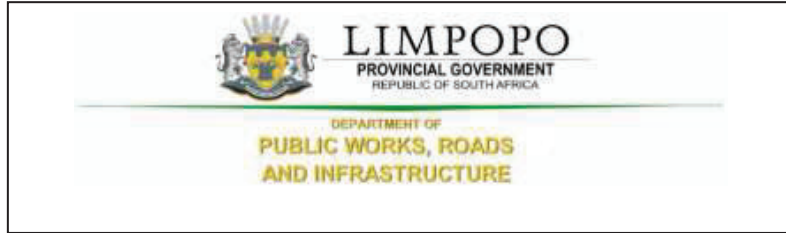
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PART T1: TENDERING PROCEDURE

T1.1 Tender Notice and Invitation to Tender

The Limpopo Department of Public Works, Roads and Infrastructure invites tenderers from contractors appointed on the framework agreement on Category B for **COMPLETION OF BAKONE TRADITIONAL OFFICE IN THE WATERBERG DISTRICT** for a period of 12 months. It is estimated that tenderers must have a CIDB contractor grading designation of **6GB** or higher.

The conditions of the CIDB Standard for Indirect Targeting for Enterprise Development through Construction Works Contracts **Gazette Notice No. 36190 of 25 February 2013** will be applicable on this project

Project Name	COMPLETION OF BAKONE TRADITIONAL OFFICE IN THE WATERBERG DISTRICT for a period of 12 months	
Tender Number	LDPWRI- B/20088	
Tender documents availability	Limpopo Department of Public Works, Roads and Infrastructure website	
Address for submission of tenders	DEPARTMENT OF PUBLIC WORKS, ROADS & INFRASTRUCTURE. Physical address: Corner River and Blaauwberg Streets, Ladanna, 0699.	
Closing date of the tender	As per Tender invite	
Closing time of the tender	As per Tender invite	
Compulsory briefing meeting (<i>Tenderers must sign the attendance register in the name of the tendering entity. Addenda (if any) will be issued only to those tendering entities appearing on the attendance register</i>)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
	Meeting venue	As per Tender invite
	Date	As per Tender invite
	Time:	As per Tender invite
Evaluation criteria	1. Compliance with mandatory or compulsory requirements 2. Risk assessment on current projects 3. Price 4. Preference	
Mandatory or Compulsory Requirements (<i>failure to submit or comply with these requirements will lead to automatic disqualification</i>)	Only tenderers who are appointed on Category B registered with the Construction Industry Development Board (CIDB) with designation of 6 GB or higher than a contractor grading designation determined in accordance with the sum tendered, or a value determined in accordance with Regulation 25 (1B) or 25(7A) of the Construction Industry Development Regulations are eligible to have their tenders evaluated	
	Completed and signed Form of Offer	



T1.2 Tender Data

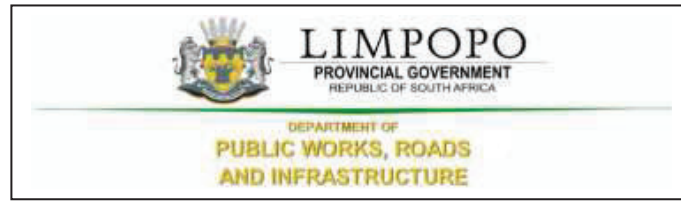
Clause number	Tender Data
	<p>The conditions of tender are the Standard Conditions of Tender as contained in Annex C of Board Notice 423 of 2019 in Government Gazette No. 42622 of 08 August 2019, Construction Industry Development Board (CIDB) Standard for Uniformity in Construction Procurement. (See www.cidb.org.za) which are reproduced without amendment or alteration for the convenience of tenderers as an Annex to this Tender Data.</p> <p>The Standard Conditions of Tender make several references to the Tender Data for details that apply specifically to this tender. The Tender Data shall have precedence in the interpretation of any ambiguity or inconsistency between it and the standard conditions of tender. Each item of data given below is cross-referenced to the clause in the Standard Conditions of Tender to which it mainly applies.</p> <p>The contractor shall achieve in the performance of the contract the Contract Participation Goals (CPG) relating to the engagement of targeted enterprises as established in the CIDB Standard for Indirect Targeting for Enterprise Development through Construction Works Contracts Gazette Notice No. 36190 of 25 February 2013. In this case, contractor shall provide a minimum Contract Participation Goal (CPG) of 5% of the total project value and develop targeted enterprises stated under C3 of this document.</p> <p>The following variations, amendments and additions to the Standard Conditions of Tender as set out in the Tender Data below shall apply to this tender. Add the following to clauses in Standard Conditions of Tender:</p>
C.1.1	The Employer is the Department of Public Works, Roads and Infrastructure

C.1.2	<p>The Tender Part T1: Tendering procedures T1.1 Tender notice and invitation to tender T1.2 Tender data</p> <p>Part T2: Returnable documents T2.1 List of returnable documents T2.2 Returnable schedules</p> <p>The Contract Part C1: Agreements and contract data C1.1 Form of offer and acceptance C1.2 Contract data C1.3 Joint Venture Agreement (If Applicable)</p> <p>The Contract Part C2: Pricing data C2.1 Pricing instructions C2.2 Bills of Quantities</p> <p>Part 3: Scope of work C3.1 Special Notes to Bidders C3.2 OHS Specifications</p> <p>Part 4: Site information C4 Drawings</p>
C.1.4	<p>All communications related to this bid should be directed to the persons indicated under Enquires on this tender document.</p> <p>Attention is also drawn to the fact that verbal information, given by the Employer’s agent during site visits/clarification meetings or at any other time prior to the award of the Contract, will not be regarded as binding on the Employer. Only information issued formally by the Employer in writing to Tenderers will be regarded as amending the Tender Documents.</p>
C.1.5	<p>The employer reserve to cancel the tender prior to the award of the tender.</p>
C1.6.2	<p>A competitive negotiation procedure will not be followed.</p>
C1.6.3	<p>A two-stage system will not be followed.</p>
C.2.1	<p>Eligibility in respect of CIDB grading</p> <p>Only tenderers who are appointed on framework agreement Category B and registered with the Construction Industry Development Board (CIDB) with designation of 6GB or higher than a contractor grading designation determined in accordance with the sum tendered, or a value determined in accordance with Regulation 25 (1B) or 25(7A) of the Construction Industry Development Regulations, are eligible to have their tenders evaluated.</p>
C2.2	<p>Cost of tendering</p> <p>The tenderer accept that, unless otherwise stated in the tender data, the employer will not compensate the tenderer for any costs incurred in the preparation and submission of a tender offer, including the costs of any testing necessary to demonstrate that aspects of the offer complies with requirements</p>
C.2.7	<p>Compulsory site briefing</p> <p>A compulsory briefing meeting will be held as per Tender invite</p> <p>Tenderers must sign the attendance list in the name of the tendering entity. Addenda (if any) will be issued only to those tendering entities appearing on the attendance list.</p>

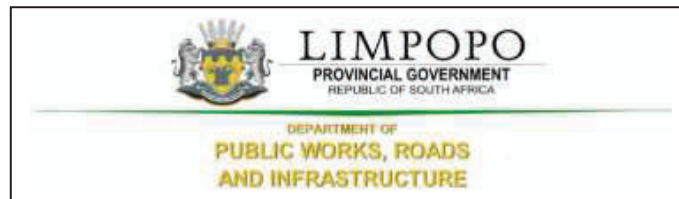
C.2.11	<p>Alterations to the documents</p> <p>Bidders are required to not make any alterations or additions to the tender documents, except to comply with instructions issued by the employer, or necessary to correct errors made by the tenderer. All signatories to the tender offer shall initial all such alterations</p>
C.2.12	<p>Alternative tender offer</p> <p>No alternative tender offer is permitted in this tender.</p>
C.2.13.2	<p>Replace sub-clause C.2.13.2 with the following; Return all returnable documents to the employer after completing them in their entirety by writing in non-erasable black ink</p>
C.2.13.3	<p>Parts of each tender offer communicated on paper shall be submitted as an original</p>
C.2.13.4	<p>The tender shall be signed by a person duly authorized to do so.</p>
C.2.13.5	<p>The employer’s details and address for delivery of tender offers and identification details that are to be shown on each tender offer package are:</p> <p>Location of tender box: DEPARTMENT OF PUBLIC WORKS, ROADS & INFRASTRUCTURE. Physical address: Corner River and Blaauwberg Streets, Ladanna, 0699 Identification details: Sealed Tender with Tender reference number, Title of Tender and the closing date and time of the tender.</p>
C.2.15.1	<p>The closing time for submission of tender offers is as stated in the Tender Notice and Invitation to Tender. Telephonic, telegraphic, telex, facsimile or e-mailed tender offers will not be accepted.</p>
C.2.16.1	<p>The tender offer validity period is 12 weeks or 90 days.</p>
C.2.16.2	<p>The tender accepts that a tender submission that has been submitted to the employer may only be withdrawn or substituted by giving the employer’s agent written notice before the closing time for tenders that a tender is to be withdrawn or substituted. If the validity period stated in C.2.16 lapses before the employer evaluating tender, the contractor reserves the right to review the price based on Consumer Price Index (CPI).</p>

C.3.1	<p>The tenderer is required to indicate how they claim points for each preference point system and attached relevant supporting documents. The specific goals for claiming of preference points include the following:</p> <table border="1" data-bbox="290 338 1414 1025"> <thead> <tr> <th data-bbox="290 338 858 400">Specific Goals</th> <th data-bbox="858 338 1414 400">Means of Verification</th> </tr> </thead> <tbody> <tr> <td data-bbox="290 400 858 472">Persons who had no franchise in national elections prior to 1983 and 1993</td> <td data-bbox="858 400 1414 472">Director(s) certified ID copies and company registration documents</td> </tr> <tr> <td data-bbox="290 472 858 544">Women</td> <td data-bbox="858 472 1414 544">Director(s) certified ID copies and company registration documents</td> </tr> <tr> <td data-bbox="290 544 858 674">Disabled persons</td> <td data-bbox="858 544 1414 674">Director's medical certificate confirming disability from a Medical Practitioner registered with the Health Professional Council of South Africa (HPCSA)</td> </tr> <tr> <td data-bbox="290 674 858 736">Promotion of SMMEs</td> <td data-bbox="858 674 1414 736">Annual Financial statements</td> </tr> <tr> <td data-bbox="290 736 858 840">Enterprise located in Limpopo Province</td> <td data-bbox="858 736 1414 840">Company municipal statements, letter from the Traditional Council/ Chief or lease agreement</td> </tr> <tr> <td data-bbox="290 840 858 920">Promotion of youth</td> <td data-bbox="858 840 1414 920">Director(s) certified ID copies and company registration documents</td> </tr> <tr> <td data-bbox="290 920 858 1025">Promotion of South African Owned enterprises</td> <td data-bbox="858 920 1414 1025">Director(s) certified ID copies and company registration documents</td> </tr> </tbody> </table>	Specific Goals	Means of Verification	Persons who had no franchise in national elections prior to 1983 and 1993	Director(s) certified ID copies and company registration documents	Women	Director(s) certified ID copies and company registration documents	Disabled persons	Director's medical certificate confirming disability from a Medical Practitioner registered with the Health Professional Council of South Africa (HPCSA)	Promotion of SMMEs	Annual Financial statements	Enterprise located in Limpopo Province	Company municipal statements, letter from the Traditional Council/ Chief or lease agreement	Promotion of youth	Director(s) certified ID copies and company registration documents	Promotion of South African Owned enterprises	Director(s) certified ID copies and company registration documents
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	<p>CIDB Grading Certificate</p> <p>Tenders are required to provide proof of registration with the CIDB register of contractors indicating the category of registration, grading as well as the CRS number of the tenderer.</p> <p>Letter of Good Standing</p> <p>Tender are required to submit, bound with the tender submission, a letter of good from the Compensation commissioner indicating that the bidder is in good standing.</p>																
C3.2	Notwithstanding any requests for confirmation of receipt of Addenda issued, the tenderer shall be deemed to have received such addenda if the employer can show proof of transmission thereof (or a notice in respect thereof) via electronic mail, facsimile or registered post.																
C.3.4.1	Tenders will not be opened immediately after the closing time for tenders.																

<p>C.3.11</p>	<p>The tenderers will be evaluated in four stages</p> <ul style="list-style-type: none"> (i) Stage 1: Compliance with mandatory requirements as stated in Part T1.1 (ii) Stage 2: Risk assessment on current projects (iii) Stage 3: Price (iv) Stage 4: Preference <p>The technical capacity (functionality) of the contractors will not be evaluated any further during evaluation of the RFQ. However, the contractors will be required to declare the status of their key staff and any administrative compliance. In cases where there are changes in the key staff, the contractor should provide CVs and qualifications of the new staff to LDPWR&I. The new staff should have similar skills, qualifications and experience as the staff submitted during tender. Similarly, the contractors will be expected to provide an update on any changes in their administrative compliances – and should submit the required SBD document in such cases.</p> <p>The award will only be issued to contractors with valid Tax Clearance certificates, active CIDB grading and the contractor who meets all the legislative requirement – this shall be verified by SCM in line with the departmental SCM Policy.</p> <p>The total value of current projects for a contractor under consideration cannot exceed the twice the maximum value of their relevant CIDB grade.¹</p> <hr/> <ul style="list-style-type: none"> a) Stage 1: Administrative Compliance: The Compliance or compulsory documents and returnables are detailed in Section T.2.1 of this tender document. Failure to submit, complete or comply with these requirements will lead to automatic disqualification. b) Stage 2: Risk assessment on current projects <p>The total value of current projects for a contractor under consideration cannot exceed the twice the maximum value of their relevant CIDB grade.</p>
	<p>Stage 3 and 4:</p> <p>The procedure for final evaluation of responsive tenders is Method 2 (Financial offer and preference). The total number of tender evaluation points (T_{EV}) shall be determined in accordance with the following formula.</p> $T_{EV} = N_{FO} + N_P$ <p>a) N_{FO} is the number of tender evaluation points awarded for the financial offer made. The score for financial offer is calculated using the following formula:</p> $P = A * \left(1 - \frac{(P_o - P_m)}{P_m} \right)$ <p>Where:</p> <p>A is 80 since the estimated financial value of works inclusive of VAT is equals or is less than R 50,000,000.00.</p> <p>P is the points awarded to the bid under consideration</p> <p>P_m is the lowest Comparative bid price</p> <p>P_o is the comparative price under consideration</p> <p>b) N_P is the number of tender evaluation points awarded for preferences claimed in accordance with the Preferencing Schedule in 3.18</p>



PART T2: RETURNABLE DOCUMENTS



T2.1 : LIST OF RETURNABLE DOCUMENTS

The following documents will form part of the documents submitted to the Contractors as part of the Request for Proposals:

A – MANDATORY REQUIREMENTS

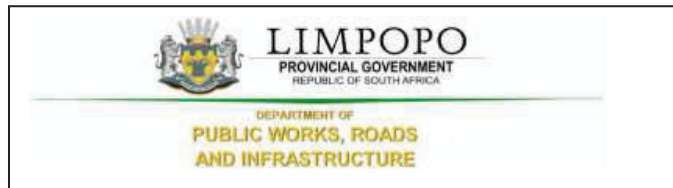
- 2.1 Fully completed Form of Offer (Fully completed and signed Form of Offer)
- 2.2 Bills of Quantities (P&Gs are allowed to have a lump sum total in the P&Gs Summary Page and the rest of the Bills of Quantities trades must be completed in full (Rates and Amounts))
- 2.3 Record of Addenda to tender documents (Records of addendum must be captured in full, whether applicable or not)
- 2.4 Proposed Amendments and qualifications (Proposed amendments must be captured in full, whether applicable or not)
- 2.5 Declaration on the status of Administration compliance.
- 2.6 CIDB grading certificate (Valid CIDB)
- 2.7 Declaration of current projects

B – NON MANDATORY REQUIREMENTS

- 2.8 SBD 1 (Fully completed and signed)
- 2.9 SBD 4 (Fully completed and signed)
- 2.10 SBD 6.1 (Failure on the part of the tenderer to submit proof or documentation required in terms of this tender to claim points for specific goals with tender, will be interpreted to mean that preference points for specific goals are not claimed)
- 2.11 Full CSD Report for evaluation purposes
- 2.12 Tax clearance certificate (Bidders Tax matters should comply during the award)
- 2.13 JV agreement (if applicable)

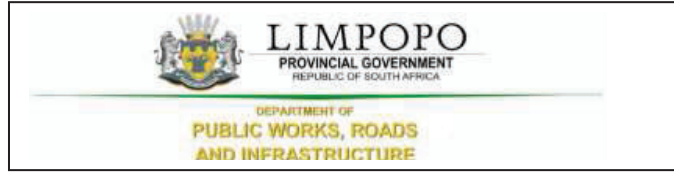
Failure by the service provider to submit or complete Mandatory Requirements will render their proposal not responsive and will not be considered.

The bidder should also not appear on the National Treasury's list of black listed entities



T 2.2: RETURNABLE SCHEDULE

	Document Name	Returnable document
1.	Preferencing schedule:	<input type="checkbox"/> Yes <input type="checkbox"/> No
2.	Proposed amendments and qualifications (if applicable)	<input type="checkbox"/> Yes <input type="checkbox"/> No
3.	SBD 1: Invitation to tender	<input type="checkbox"/> Yes <input type="checkbox"/> No
4.	SBD 6.1: Reference Points claim form in terms of the Preferential Procurement Regulations 2017 or amended	<input type="checkbox"/> Yes <input type="checkbox"/> No
5.	Form of offer	<input type="checkbox"/> Yes <input type="checkbox"/> No
6.	Full CSD report	<input type="checkbox"/> Yes <input type="checkbox"/> No
7.	Original tax clearance certificate or tax pin	<input type="checkbox"/> Yes <input type="checkbox"/> No
8.	Priced bills of quantities	<input type="checkbox"/> Yes <input type="checkbox"/> No
9.	Proof of CIDB class grading: 6GB or higher.	<input type="checkbox"/> Yes <input type="checkbox"/> No
10.	Declaration with regard to current projects	<input type="checkbox"/> Yes <input type="checkbox"/> No
11.	JV agreement (if applicable)	<input type="checkbox"/> Yes <input type="checkbox"/> No



Declaration on the status of administrative compliance

Please indicate, by circling either **Yes** or **No**, whether the administrative information submitted with the original framework tender documents has changed or not. If yes, kindly provide the particulars below with any supporting documents.

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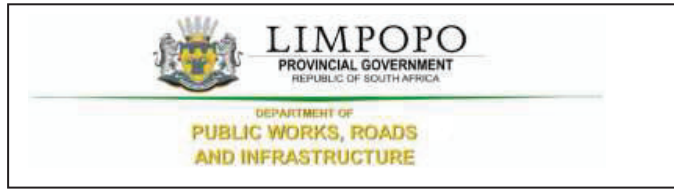
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Signed Date _____

Name Position _____

Enterprise



Record of Addenda to tender documents

We confirm that the following communications received from the Employer before the submission of this tender offer, amending the tender documents, have been taken into account in this tender offer:

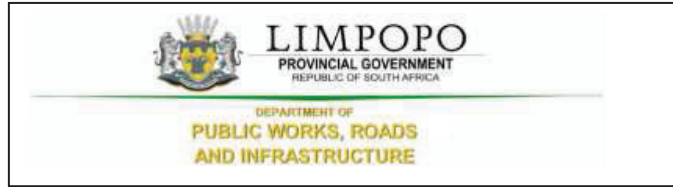
	Date	Title or Details
1.		
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

Attach additional pages if more space is required.

Signed _____ Date _____

Name _____ Position _____

Tenderer _____



Proposed amendments and qualifications

The Tenderer should record any deviations or qualifications he may wish to make to the tender documents in this Returnable Schedule. Alternatively, a tenderer may state such deviations and qualifications in a covering letter to his tender and reference such letter in this schedule.

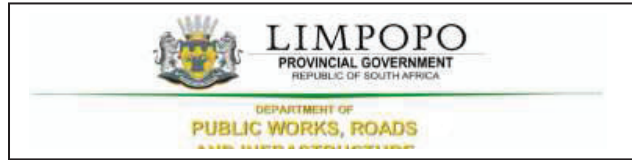
The Tenderer's attention is drawn to clause 5.8 of SANS 10845-3 regarding the employer's handling of material deviations and qualifications.

Page	Clause or item	Proposal

Signed _____ Date _____

Name _____ Position _____

Tenderer _____



**SBD 1
 PART A: INVITATION TO BID**

YOU ARE HEREBY INVITED TO BID FOR REQUIREMENTS OF THE LIMPOPO DEPARTMENT OF PUBLIC WORKS, ROADS AND INFRASTRUCTURE

BID NUMBER:	LDPWRI-B/20088	CLOSING DATE	As per Tender Advert	CLOSING TIME:	11:00am
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DESCRIPTION **COMPLETION OF BAKONE TRADITIONAL OFFICE IN THE WATERBERG DISTRICT**

BID RESPONSE DOCUMENTS MAY BE DEPOSITED IN THE BID BOX SITUATED AT (STREET ADDRESS)

DEPARTMENT OF PUBLIC WORKS, ROADS & INFRASTRUCTURE.
 Physical address: Corner River and Blaauwberg Streets, Ladanna, 0699.

BIDDING PROCEDURE ENQUIRIES MAY BE DIRECTED TO

CONTACT PERSON	Mr. NJ Motsopye				
TELEPHONE NUMBER	0152847126	E-MAIL ADDRESS	motsopyen@dpw.limpopo.gov.za		
CONTACT PERSON (TECHNICAL)	Mr. ZV Maluleke				
TELEPHONE NUMBER	015 284 7219	E-MAIL ADDRESS	malulekev@dpw.limpopo.gov.za		

SUPPLIER INFORMATION

NAME OF BIDDER					
POSTAL ADDRESS					
STREET ADDRESS					
TELEPHONE NUMBER	CODE		NUMBER		
CELLPHONE NUMBER					
E-MAIL ADDRESS					
VAT REGISTRATION NUMBER					
SUPPLIER COMPLIANCE STATUS	TAX COMPLIANCE SYSTEM PIN:		OR	CENTRAL SUPPLIER DATABASE No:	MAAA

ARE YOU THE ACCREDITED REPRESENTATIVE IN SOUTH AFRICA FOR THE GOODS /SERVICES /WORKS OFFERED?	<input type="checkbox"/> Yes <input type="checkbox"/> No [IF YES ENCLOSE PROOF]	ARE YOU A FOREIGN BASED SUPPLIER FOR THE GOODS /SERVICES /WORKS OFFERED?	<input type="checkbox"/> Yes <input type="checkbox"/> No [IF YES, ANSWER THE QUESTIONNAIRE BELOW]
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QUESTIONNAIRE TO BIDDING FOREIGN SUPPLIERS

IS THE ENTITY A RESIDENT OF THE REPUBLIC OF SOUTH AFRICA (RSA)?	<input type="checkbox"/> YES <input type="checkbox"/> NO
DOES THE ENTITY HAVE A BRANCH IN THE RSA?	<input type="checkbox"/> YES <input type="checkbox"/> NO
DOES THE ENTITY HAVE A PERMANENT ESTABLISHMENT IN THE RSA?	<input type="checkbox"/> YES <input type="checkbox"/> NO
DOES THE ENTITY HAVE ANY SOURCE OF INCOME IN THE RSA?	<input type="checkbox"/> YES <input type="checkbox"/> NO
IS THE ENTITY LIABLE IN THE RSA FOR ANY FORM OF TAXATION?	<input type="checkbox"/> YES <input type="checkbox"/> NO

IF THE ANSWER IS "NO" TO ALL OF THE ABOVE, THEN IT IS NOT A REQUIREMENT TO REGISTER FOR A TAX COMPLIANCE STATUS SYSTEM PIN CODE FROM THE SOUTH AFRICAN REVENUE SERVICE (SARS) AND IF NOT REGISTER AS PER 2.3 BELOW.

PART B: TERMS AND CONDITIONS FOR BIDDING

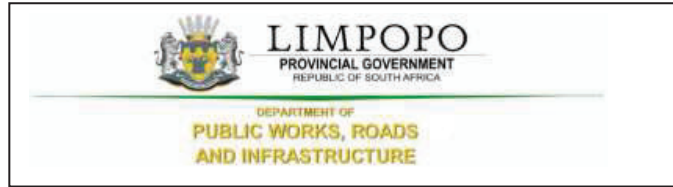
1. BID SUBMISSION:
1.1. BIDS MUST BE DELIVERED BY THE STIPULATED TIME TO THE CORRECT ADDRESS. LATE BIDS WILL NOT BE ACCEPTED FOR CONSIDERATION.
1.2. ALL BIDS MUST BE SUBMITTED ON THE OFFICIAL FORMS PROVIDED–(NOT TO BE RE-TYPED) OR IN THE MANNER PRESCRIBED IN THE BID DOCUMENT.
1.3. THIS BID IS SUBJECT TO THE PREFERENTIAL PROCUREMENT POLICY FRAMEWORK ACT, 2000 AND THE PREFERENTIAL PROCUREMENT REGULATIONS, 2017, THE GENERAL CONDITIONS OF CONTRACT (GCC) AND, IF APPLICABLE, ANY OTHER SPECIAL CONDITIONS OF CONTRACT.
1.4. THE SUCCESSFUL BIDDER WILL BE REQUIRED TO FILL IN AND SIGN A WRITTEN CONTRACT FORM (SBD7).
2. TAX COMPLIANCE REQUIREMENTS
2.1 BIDDERS MUST ENSURE COMPLIANCE WITH THEIR TAX OBLIGATIONS.
2.2 BIDDERS ARE REQUIRED TO SUBMIT THEIR UNIQUE PERSONAL IDENTIFICATION NUMBER (PIN) ISSUED BY SARS TO ENABLE THE ORGAN OF STATE TO VERIFY THE TAXPAYER'S PROFILE AND TAX STATUS.
2.3 APPLICATION FOR TAX COMPLIANCE STATUS (TCS) PIN MAY BE MADE VIA E-FILING THROUGH THE SARS WEBSITE WWW.SARS.GOV.ZA.
2.4 BIDDERS MAY ALSO SUBMIT A PRINTED TCS CERTIFICATE TOGETHER WITH THE BID.
2.5 IN BIDS WHERE CONSORTIA / JOINT VENTURES / SUB-CONTRACTORS ARE INVOLVED, EACH PARTY MUST SUBMIT A SEPARATE TCS CERTIFICATE / PIN / CSD NUMBER.
2.6 WHERE NO TCS PIN IS AVAILABLE BUT THE BIDDER IS REGISTERED ON THE CENTRAL SUPPLIER DATABASE (CSD), A CSD NUMBER MUST BE PROVIDED.
2.7 NO BIDS WILL BE CONSIDERED FROM PERSONS IN THE SERVICE OF THE STATE, COMPANIES WITH DIRECTORS WHO ARE PERSONS IN THE SERVICE OF THE STATE, OR CLOSE CORPORATIONS WITH MEMBERS PERSONS IN THE SERVICE OF THE STATE.”

NB: FAILURE TO PROVIDE / OR COMPLY WITH ANY OF THE ABOVE PARTICULARS MAY RENDER THE BID INVALID.

SIGNATURE OF BIDDER:

CAPACITY UNDER WHICH THIS BID IS SIGNED:
(Proof of authority must be submitted e.g. company resolution)

DATE:



SBD 6.1

PREFERENCE POINTS CLAIM FORM IN TERMS OF THE PREFERENTIAL PROCUREMENT REGULATIONS 2022

This preference form must form part of all tenders invited. It contains general information and serves as a claim form for preference points for specific goals.

NB: BEFORE COMPLETING THIS FORM, TENDERERS MUST STUDY THE GENERAL CONDITIONS, DEFINITIONS AND DIRECTIVES APPLICABLE IN RESPECT OF THE TENDER AND PREFERENTIAL PROCUREMENT REGULATIONS, 2022

1. GENERAL CONDITIONS

1.1 The following preference point systems are applicable to invitations to tender:

- the 80/20 system for requirements with a Rand value of up to R50 000 000 (all applicable taxes included); and
- the 90/10 system for requirements with a Rand value above R50 000 000 (all applicable taxes included).

1.2 To be completed by the organ of state

a) The applicable preference point system for this tender is the **80/20** preference point system.

1.3 Points for this tender (even in the case of a tender for income-generating contracts) shall be awarded for:

- (a) Price; and
- (b) Specific Goals.

1.4 To be completed by the organ of state:

The maximum points for this tender are allocated as follows:

	POINTS
PRICE	80
SPECIFIC GOALS	20
Total points for Price and SPECIFIC GOALS	100

1.5 Failure on the part of a tenderer to submit proof or documentation required in terms of this tender to claim points for specific goals with the tender, will be interpreted to mean that preference points for specific goals are not claimed.

1.6 The organ of state reserves the right to require of a tenderer, either before a tender is adjudicated or at any time subsequently, to substantiate any claim in regard to preferences, in any manner required by the organ of state.

2. DEFINITIONS

- (a) **“tender”** means a written offer in the form determined by an organ of state in response to an invitation to provide goods or services through price quotations, competitive tendering process or any other method envisaged in legislation;
- (b) **“price”** means an amount of money tendered for goods or services, and includes all applicable taxes less all unconditional discounts;
- (c) **“rand value”** means the total estimated value of a contract in Rand, calculated at the time of bid invitation, and includes all applicable taxes;
- (d) **“tender for income-generating contracts”** means a written offer in the form determined by an organ of state in response to an invitation for the origination of income-generating contracts through any method envisaged in legislation that will result in a legal agreement between the organ of state and a third party that produces revenue for the organ of state, and includes, but is not limited to, leasing and disposal of assets and concession contracts, excluding direct sales and disposal of assets through public auctions; and
- (e) **“the Act”** means the Preferential Procurement Policy Framework Act, 2000 (Act No. 5 of 2000).

3. FORMULAE FOR PROCUREMENT OF GOODS AND SERVICES

3.1. POINTS AWARDED FOR PRICE

3.1.1 THE 80/20 OR 90/10 PREFERENCE POINT SYSTEMS

A maximum of 80 or 90 points is allocated for price on the following basis:

$$Ps = 80 \left(1 - \frac{Pt - Pmin}{Pmin} \right) \quad \text{or} \quad Ps = 90 \left(1 - \frac{Pt - Pmin}{Pmin} \right)$$

Where

Ps = Points scored for price of tender under consideration

Pt = Price of tender under consideration

Pmin = Price of lowest acceptable tender

3.2. FORMULAE FOR DISPOSAL OR LEASING OF STATE ASSETS AND INCOME GENERATING PROCUREMENT

3.2.1. POINTS AWARDED FOR PRICE

A maximum of 80 or 90 points is allocated for price on the following basis:

$$80/20 \quad \text{or} \quad 90/10$$

$$Ps = 80 \left(1 + \frac{Pt - Pmax}{Pmax} \right) \text{ or } Ps = 90 \left(1 + \frac{Pt - Pmax}{Pmax} \right)$$

Where

- Ps = Points scored for price of tender under consideration
Pt = Price of tender under consideration
Pmax = Price of highest acceptable tender

4. POINTS AWARDED FOR SPECIFIC GOALS

- 4.1. In terms of Regulation 4(2); 5(2); 6(2) and 7(2) of the Preferential Procurement Regulations, preference points must be awarded for specific goals stated in the tender. For the purposes of this tender the tenderer will be allocated points based on the goals stated in table 1 below as may be supported by proof/ documentation stated in the conditions of this tender:
- 4.2. In cases where organs of state intend to use Regulation 3(2) of the Regulations, which states that, if it is unclear whether the 80/20 or 90/10 preference point system applies, an organ of state must, in the tender documents, stipulate in the case of—
- (a) an invitation for tender for income-generating contracts, that either the 80/20 or 90/10 preference point system will apply and that the highest acceptable tender will be used to determine the applicable preference point system; or
 - (b) any other invitation for tender, that either the 80/20 or 90/10 preference point system will apply and that the lowest acceptable tender will be used to determine the applicable preference point system,
- then the organ of state must indicate the points allocated for specific goals for both the 90/10 and 80/20 preference point system.

Table 1: Specific goals for the tender and points claimed are indicated per the table below.

(Note to organs of state: Where either the 90/10 or 80/20 preference point system is applicable, corresponding points must also be indicated as such.

Note to tenderers: The tenderer must indicate how they claim points for each preference point system.)

The specific goals allocated points in terms of this tender	Number of points allocated (90/10 system) (To be completed by the organ of state)	Number of points allocated (80/20 system) (To be completed by the organ of state)	Number of points claimed (90/10 system) (To be completed by the tenderer)	Number of points claimed (80/20 system) (To be completed by the tenderer)
Persons who had no franchise in national elections prior to 1983 and 1993	-	6		
Promotion of Women owned enterprises	-	3		
Disabled persons	-	2		
Promotion of SMMEs	-	2		
Enterprises located in Limpopo Province	-	4		
Promotion of youth	-	1		
Promotion of enterprises located in rural areas	-	1		
Promotion of enterprises located in the relevant District	-	1		

DECLARATION WITH REGARD TO COMPANY/FIRM

4.3. Name of company/firm.....

4.4. Company registration number:

4.5. TYPE OF COMPANY/ FIRM

- Partnership/Joint Venture / Consortium
- One-person business/sole propriety
- Close corporation
- Public Company
- Personal Liability Company
- (Pty) Limited
- Non-Profit Company
- State Owned Company

[TICK APPLICABLE BOX]

4.6. I, the undersigned, who is duly authorised to do so on behalf of the company/firm, certify that the points claimed, based on the specific goals as advised in the tender, qualifies the company/ firm for the preference(s) shown and I acknowledge that:

- i) The information furnished is true and correct;
- ii) The preference points claimed are in accordance with the General Conditions as indicated in paragraph 1 of this form;
- iii) In the event of a contract being awarded as a result of points claimed as shown in paragraphs 1.4 and 4.2, the contractor may be required to furnish documentary proof to the satisfaction of the organ of state that the claims are correct;
- iv) If the specific goals have been claimed or obtained on a fraudulent basis or any of the conditions of contract have not been fulfilled, the organ of state may, in addition to any other remedy it may have –
 - (a) disqualify the person from the tendering process;
 - (b) recover costs, losses or damages it has incurred or suffered as a result of that person's conduct;
 - (c) cancel the contract and claim any damages which it has suffered as a result of having to make less favourable arrangements due to such cancellation;
 - (d) recommend that the tenderer or contractor, its shareholders and directors, or only the shareholders and directors who acted on a fraudulent basis, be restricted from obtaining business from any organ of state for a period not exceeding 10 years, after the *audi alteram partem* (hear the other side) rule has been applied; and
 - (e) forward the matter for criminal prosecution, if deemed necessary.

.....	
SIGNATURE(S) OF TENDERER(S)	
SURNAME AND NAME:
DATE:
ADDRESS:



DECLARATION OF CURRENT PROJECTS

Current value refers to current value of projects for both General Building (GB) and Civil Engineering (CE).

Please list the current projects which your company is busy executing in the table below.

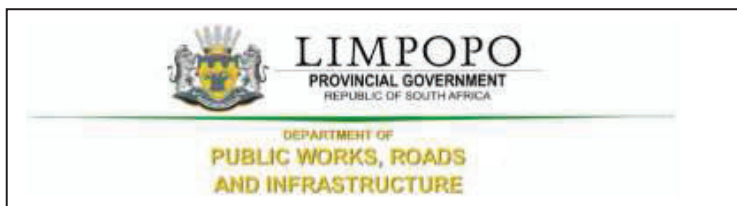
If no projects at the moment the tender must indicate/write on this table

Table 1 List of current projects executed by the bidder

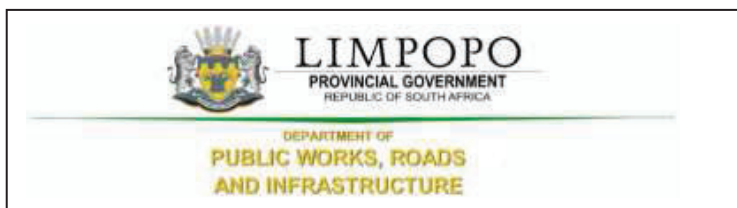
1. Do you have the current projects being executed Yes/No?
2. If Yes, please indicate the details on the table below. Please note that it is compulsory to answer the question and if the answer is yes, complete the table. If the question not answered or the table not completed the points will not be allocated.

Project Description	Project Value	Start date	Planned end date	Client Name	Contact Person number

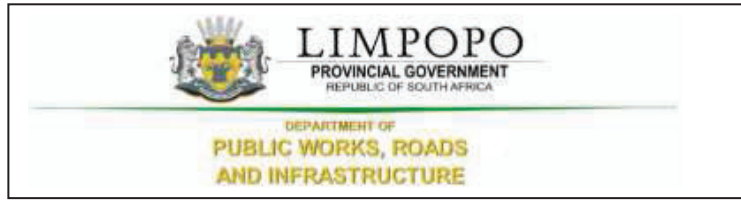
COMPLETION OF BAKONE TRADITIONAL OFFICE IN THE WATERBERG DISTRICT FOR THE DEPARTMENT OF COOPERATIVE GOVERNANCE ,HUMAN SETTLEMENTS & TRADITIONAL AFFAIRS
 IN THE CAPRICORN DISTRICT
 CONTRACT No. LDPWRI-B/ 20088



THE CONTRACT



PART C1: AGREEMENT AND CONTRACT DATA



C1.1. FORM OF OFFER AND ACCEPTANCE

Offer

The employer, identified in the acceptance signature block, has solicited offers to enter into a contract in respect of the following works:

COMPLETION OF THE NEW BAKONE TRADITIONAL OFFICE IN THE WATERBERG DISTRICT

The tenderer, identified in the offer signature block, has examined the documents listed in the tender data and addenda thereto as listed in the tender schedules, and by submitting this offer has accepted the conditions of tender.

By the representative of the tenderer, deemed to be duly authorized, signing this part of the Form of Offer and Acceptance, the tenderer offers to perform all of the obligations and liabilities of the contractor under the contract including compliance with all its terms and conditions according to their true intent and meaning for an amount to be determined in accordance with the conditions of contract identified in the contract data.

THE OFFERED TOTAL OF THE PRICE INCLUSIVE OF VALUE ADDED TAX IS (CONTRACT PRICE)
 (Note: The total bid amount in the Bill of Quantities and Form of Offer must be the same)

Rand (in words); R.....

(in figures) R.....

This offer may be accepted by the employer by signing the acceptance part of this form of offer and acceptance and returning one copy of this document to the tenderer before the end of the period of validity stated in the tender data, whereupon the tenderer becomes the party named as the contractor in the conditions of contract identified in the contract data.

Signature(s)

Name(s)

Capacity

For the tenderer:

Name & signature of witness

Date

Acceptance (To be completed by the employer – not the bidder)

By signing this part of this Form of Offer and Acceptance, the *Employer* identified below accepts the tenderer's Offer. In consideration thereof, the *Employer* shall pay the Consultant the amount due in accordance with the *conditions of contract* identified in the Contract Data. Acceptance of the tenderer's Offer shall form an agreement between the *Employer* and the tenderer upon the terms and conditions contained in this agreement and in the contract that is the subject of this agreement.

The terms of the contract, are contained in:

- Part C1 Agreements and Contract Data, (which includes this Form of Offer and Acceptance)
- Part C2 Pricing Data
- Part C3 Scope of Work

and drawings and documents (or parts thereof), which may be incorporated by reference into the above listed Parts.

Deviations from and amendments to the documents listed in the Tender Data and any addenda thereto listed in the Returnable Schedules as well as any changes to the terms of the Offer agreed by the tenderer and the *Employer* during this process of offer and acceptance, are contained in the Schedule of Deviations attached to and forming part of this Form of Offer and Acceptance. No amendments to or deviations from said documents are valid unless contained in this Schedule.

The tenderer shall within two weeks of receiving a completed copy of this agreement, including the Schedule of Deviations (if any), contact the *Employer's* agent (whose details are given in the Contract Data) to arrange the delivery of any securities, bonds, guarantees, proof of insurance and any other documentation to be provided in terms of the *conditions of contract* identified in the Contract Data. Failure to fulfil any of these obligations in accordance with those terms shall constitute a repudiation of this agreement.

Notwithstanding anything contained herein, this agreement comes into effect on the date when the tenderer receives one fully completed original copy of this document, including the Schedule of Deviations (if any). Unless the tenderer (now *Consultant*) within five working days of the date of such receipt notifies the *Employer* in writing of any reason why he cannot accept the contents of this agreement, this agreement shall constitute a binding contract between the Parties.

For the Employer

Signature

Name

Capacity

Name and address of organization

Signature and Name of Witness

Signature

Name

Capacity

Schedule of Deviations

1 Subject

 Details

.....

.....

.....

.....

2 Subject

 Details

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.....

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3 Subject

 Details

.....

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.....

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4 Subject

 Details

.....

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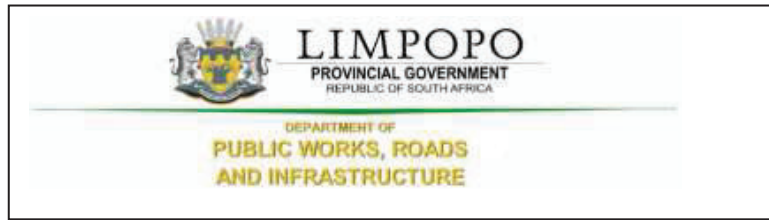
.....

.....

By the duly authorised representatives signing this agreement, the *Employer* and the Tenderer agree to and accept the foregoing schedule of deviations as the only deviations from and amendments to the documents listed in the Tender Data and addenda thereto as listed in the returnable schedules, as well as any confirmation, clarification or changes to the terms of the offer agreed by the Tenderer and the *Employer* during this process of offer and acceptance.

It is expressly agreed that no other matter whether in writing, oral communication or implied during the period between the issue of the tender documents and the receipt by the tenderer of a completed signed copy of this Agreement shall have any meaning or effect in the contract between the parties arising from this agreement.

.....



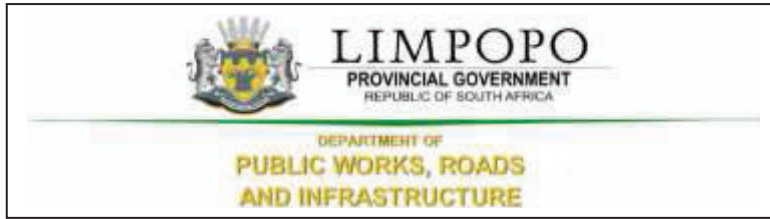
C.1.2 CONTRACT DATA

The Conditions of Contract are clauses 1 to 41 of the **JBCC Series 2000 Principal Building Agreement (Edition 4.1 of March 2005)** published by the Joint Building Contracts Committee.

Copies of these conditions of contract may be obtained from the Association of South African Quantity Surveyors (011-3154140), Master Builders Association (011-205-9000; 057- 3526269) South African Association of Consulting Engineers (011-4632022) or South African Institute of Architects (051-4474909; 011-4860684; 053-8312003;)

The JBCC Principal Building Agreement makes several references to the Contract Data for specific data, which together with these conditions collectively describe the risks, liabilities, and obligations of the contracting parties and the procedures for the administration of the Contract. The Contract Data shall have precedence in the interpretation of any ambiguity or inconsistency between it and the JBCC Principal Building Agreement.

The contractor shall achieve in the performance of the contract the Contract Participation Goals (CPG) relating to the engagement of targeted enterprises as established in the **CIDB Standard for Indirect Targeting for Enterprise Development through Construction Works Contracts Gazette Notice No. 36190 of 25 February 2013.**"



C.1.3 JOINT VENTURE AGREEMENT (If applicable)

(Note: In case of JV, Bidder to attach joint venture agreement in this section if applicable. All JV parties must submit the required returnable documents.)

SAFCEC JOINT VENTURE AGREEMENT

JOINT VENTURE AGREEMENT made and entered into by and between:

.....of

..... (hereafter referred to as.....)

of the first part;

and

..... of

..... (hereafter referred to as.....)

of the second part;

PREAMBLE

WHEREAS the Parties have formed a Joint Venture in order to submit tenders to the

..... for the construction of

..... (hereafter referred to as the "works").

NOW THEREFORE, IT IS AGREED AS FOLLOWS:

1. FORMATION OF JOINT VENTURE

1.1 The Parties hereby associate themselves into and as a Joint Venture in accordance with the provisions of this Agreement under the style or firm name of..... JOINT VENTURE.

1.2 The Parties hereto agree and undertake that they will not disclose the contents of this Agreement to persons with whom they may have any dealings directly or indirectly arising from the conclusion of this Agreement and the operation and establishment of the Works.

1.3 Notwithstanding that the parties may be jointly and severally bound to the....., should the Joint Venture be awarded the contract by the

..... for the construction of the Works, nothing herein contained shall be interpreted as giving rise to a general partnership between the parties or limiting the rights or powers of either party to carry on its separate business for its sole benefit.

2. OBJECT AND MOTIVATION

The sole object for which this Joint Venture is established and the sole business of the Joint Venture is to negotiate for and conclude a contract for the execution of the Works and to carry out such Works to finality, all in accordance with the terms of this Agreement.

3. PROFITS AND LOSSES

3.1 The profits and losses of the Joint Venture shall be borne by And.....In the proportions % and% respectively (hereinafter referred to as "the Specified Proportions").

3.2 In addition to any other provisions contained in this Agreement, the functions, duties, obligations and responsibilities of and..... under this Joint Venture agreement and in the execution of the Works will be to provide all bridging finance, guarantees and resources necessary to successfully carry out the project in proportion to the specified proportions, in which proportions all profits, losses, costs, liabilities and assets and any other responsibilities, whether pecuniary or otherwise, shall be shared equally, as far as possible.

4. DURATION

The operation of this Agreement shall be deemed to have commenced on the Day of 200..., and shall terminate, except insofar as the provisions of Clauses 5 and 6 apply, upon the happening of any of the following events, whichever shall be earlier:

4.1 Award of the Contract by for the construction of the Works to an outside party or parties, or

4.2 In the case of contract award, at the time the contract is terminated and all rights and obligations of the parties in connection with such contract and in connection with this Agreement have ceased, but in no case before the conclusion of any maintenance period in the contract and the cancellation and/or refund of all guarantees and bonds. The Joint Venture existence shall also be deemed to continue insofar as the Joint Venture is responsible for latent defects under the contract.

5. EXCLUSIVITY

The Parties agree and undertake in favour of each other that neither of them shall, except in accordance with the intention expressed in this agreement, be associated in any manner, either directly or indirectly, with any investigation, negotiation, tender or proposal for the performance of or incidental to the execution of the Works and including any variation by way of addition or omission from the scope of the Works or the extension to the Works, nor invest in any company, enterprise or partnership in any manner related thereto, either as previously agreed by the Management Committee in writing.

6. PRE-CONTRACT COSTS

6.1 All costs incurred by the Parties prior to the day of 200..., shall be for their own account.

6.2 Costs incurred by the Parties after the day of 200... and approved by the Management Committee, shall be borne by the Parties in the Specified Proportions.

7. MANAGEMENT COMMITTEE

7.1 The day-to-day affairs of the Joint Venture shall be under the control of a Management Committee which shall consist of one representative of each of the parties. Within the terms of this agreement and the contract, if awarded, each such member shall have full authority to bind the party and/or parties he represents in all matters relating to the affairs of the Joint Venture.

No party to this agreement may bind the other party hereto without the prior consent of such other party, nor may the Management Committee bind the Joint Venture or any party beyond the terms of this agreement or the contract without the prior written consent of both parties.

The parties hereto shall be obliged immediately upon signature of this Agreement, to appoint their representatives and the first meeting of the Management Committee will be held immediately thereafter. The parties shall be obliged at all times to maintain a representative on the Management Committee.

7.2 Each representative on the Management Committee shall be entitled to appoint, and from time to time remove and replace, an alternate who shall, at any meeting of the Management Committee at which the representative whom he represents is absent, be vested with all rights and powers and subject to all obligations of the representative whom he represents.

7.3 The Chairman at meetings of the Management Committee shall be a representative from and.....respectively on a six months rotation basis commencing With.....

7.4 Meetings of the Management Committee shall take place at such times and places as the Committee shall determine, provided that the Chairman shall be obliged to convene a meeting of the Management Committee not later than 10 days after being required to do so by any one of the parties to this agreement. Not less than five days' notice of any meeting of the Management Committee shall be given to the representatives thereof and their alternates.

7.5 Decisions of the Management Committee shall be unanimous, provided that If the representatives or the alternates fail to agree on any decision, the meeting at which that decision is sought shall be adjourned for a period of 24 hours and should the representatives then not agree on the course of action to be taken the matter shall be referred to the Executive Board for a decision. The decision of such Executive Board shall be placed before a further adjourned meeting, which shall take place no later than 72 hours after the initial adjourned meeting, and shall bin the Management Committee which shall adopt such decision without variation.

7.6 Subject to 7.7 below, decisions of the Management Committee may be reached telephonically, telegraphically, by facsimile or in writing.

7.7 Decisions of the Management Committee, whether at a meeting or otherwise, shall be recorded in written minutes which shall be distributed by the Chairman, for the time being to the members of the Management Committee not later than seven days after those decisions have been taken. Such minutes shall be deemed to have been affirmed unless dissented from not later than seven days after they are deemed to have been received by the dissenter.

7.8 The Management Committee may, as it wishes, decide to increase the number of its members for or invite other parties to attend any of its meetings. Such co-opted members or observers shall not have a vote.

7.9 The Management Committee shall have the power to delegate such of its powers and duties as it may determine in the best interests of the parties.

7.10 No remuneration shall be paid by the Joint Venture to the parties' representatives on the Management Committee in their capacities as such.

7.11 The administrative function regarding the operation of the Management Committee shall be fulfilled by the Chairman.

8. POWERS OF THE MANAGEMENT COMMITTEE AND DIRECTION OF THE PROJECT MANAGER

The functions, responsibilities and powers of the Management Committee shall be:

8.1 To appoint the Project Manager who shall be nominated by and and who shall attend all meetings of the Management Committee for the implementation of its policies and act only in accordance with its directives and its established procedures. The Project Manager shall be removed in terms of 10 hereof and his successor(s) shall be nominated by and.....And approved by the Management Committee.

8.2 To formulate and dictate to the Project Manager overall policy in regard to the following:

8.2.1 The general day-to-day management of the affairs of the Joint Venture.

8.2.2 Representation of the Joint Venture in dealing with the Resident Engineer/Engineer/Client and third parties on matters affecting the Joint Venture as a whole.

8.2.3 Co-ordination of the activities of the parties.

8.2.4 Preparation by agreement with the parties and supervision of the programme of the Works.

8.2.5 Ensuring that the responsibility of each of the parties in regard to technical and contractual matters is preserved.

8.3 To make such provisions as are necessary to enable the Project Manager to perform his tasks.

8.4 To approve the balance sheets and accounts of the Joint Venture.

8.5 To approve the tender submitted by the Joint Venture and to approve or withhold approval for and amendment proposed thereto.

8.6 To approve the appointment of legal advisers and auditors where such appointments are necessary

8.7 To determine the nature and extend of any additional duties and functions of each of the parties in relation to this Joint Venture.

8.8 To determine the terms and conditions of employment of personnel as well as emoluments seconded by the parties to the Joint Venture.

8.9 Subject to the terms and conditions of this agreement, to determine and approve:

8.9.1 The amount and type of working capital requirements of the Joint Venture.

8.9.2 All borrowings, guarantees and like obligations undertaken by the parties to the Joint Venture.

8.9.3 The insurance to be taken out by the Joint Venture.

8.9.4 The nature, method and amount of all claims.

8.9.5 When and in what amount to distribute dividends to the parties hereto, save that any decision in terms of which the Joint Venture will undertake further work outside of the original scope of the contract or any variation or amendment of this agreement of the contract, shall require the unanimous agreement of the parties before becoming effective and binding the Joint Venture.

8.9.6 The approval and appointment of all sub-contractors.

9. THE EXECUTIVE BOARD

9.1 The Executive Board shall consist of one representative of each of the parties who shall be the Chief Executive Officer of each Joint Venture partner or their nominated deputy but shall not be the same representative as appointed to the Management Committee in terms of Clause 7.1 hereof. The Executive Board shall be the mediation authority of the Joint Venture which shall decide on all issues which are referred to it by the Management Committee as well as on all issues where the Management Committee is not unanimous.

9.2 Decisions of the Executive Board, whether original decisions or decisions taken after referral from the Management Committee shall be implemented by the Management Committee as per Clause 7.5.1.

9.3 Decisions of the Executive Board shall be unanimous.

9.4 Effect shall be given to a resolution arrived at unanimously.

9.5 In the event of the Executive Board not being unanimous in its decision the matter is to be referred to arbitration in terms of Clause 16 hereof.

9.6 Subject to 9.7 as read in conjunction with 7.7 and, provided that they are unanimous, decisions of the Executive Board may be reached telephonically, telegraphically or in writing. If reached telephonically or otherwise orally such decision must be confirmed in writing within 24 hours.

9.7 The Minutes of meetings of the Executive Board shall be handled mutatis mutandis in the manner per Clause 7.7.

9.8 The administrative functions regarding the operation of the Executive Board shall be fulfilled by the Chairman of the Management Committee, who shall not be entitled to a voice or a vote at Executive Board meetings.

10. PERSONNEL

10.1 The Project Manager shall be appointed as provided in Clause 8.1 hereof.

10.2 The person nominated to the office of Project Manager shall be subject to removal from such office by decision of the Management Committee.

10.3 All the remuneration and emoluments of employment of the Project Manager shall be an expense of and paid by the Joint Venture, provided that a party shall be entitled by notice in writing delivered to the other parties to elect that the person to be nominated by it to fill the offices of project Manager shall be seconded to the Joint Venture in which event the remuneration and emoluments which would otherwise have been paid to such persons while filling such offices shall be paid to the member responsible for their nomination or otherwise as such member shall direct and subject to such payment being duly and promptly paid to the member or its nominee, the member will hold harmless and keep indemnified the Joint Venture and the other members from all actions, proceedings, claims and demands by such persons or otherwise howsoever in respect of such remuneration and emoluments. The remuneration and emoluments to be paid and allowed by the Joint Venture to the Project Manager shall be determined from time to time by the Management Committee and borne by the parties hereto in the Specified Propositions.

10.4 The members of the Management Committee and Executive Board and their proxies and alternates shall not be employees of the Joint Venture and shall not be entitled to claim any salary or remuneration from the Joint Venture by virtue of such appointments unless the Management Committee shall otherwise decide in writing.

10.5 shall be appointed as Secretaries to the Joint Venture. Save for matters pertaining to the works and the contract, Shall be consulted on all matters of an Administrative and financial nature arising in connection with the business of the Joint Venture where their particular experience, knowledge, facilities and skills in matters of this nature shall be considered to be of benefit to the Joint Venture.

11. FINANCING

11.1 Working Capital

11.1.1 Banking accounts shall be opened in the name of the Joint Venture with banks and at such places as may be determined by it, and the parties shall be responsible for the payment in the Specified Properties of such sums to the credit of such banking accounts as shall from time to time be required by way of working capital for the Joint Venture.

11.1.2 Any amounts from time to time advanced by the parties to the Joint Venture in terms of this agreement shall be placed to the credit of their respective capital accounts in the Joint Venture

11.1.3 The banking accounts referred to in sub-clause 11.1.1 hereof shall be operated, and cheques thereon shall be drawn in accordance with the instructions to the bankers in question. Withdrawals from these banking accounts shall be effected on the authority of persons nominated thereto by the Management Committee.

11.1.4 Should any party fail to make payment to the Joint Venture of any amount which it is obliged to pay in terms of sub-clause 11.1.1 hereof, after the expiry of a period of seven days from the date of notice requiring it to make such payment, the party to default shall be liable for payment of interest to the other parties on the amount so withheld at the rate of Prime Bank rate charged by Joint Venture Bankers per annum should such other parties have advanced the aforesaid sum.

11.1.5 All revenue derived by the Joint Venture from the contract shall forthwith be deposited to the credit of the banking accounts referred to in sub-Clause 1.1.1 hereof.

11.1.6 The amount for the time being standing to the credit of the Joint Venture's banking accounts shall be applied:

11.1.6.1 In discharging the obligations of the Joint Venture in accordance with their tenor; provided that the Management Committee shall be entitled to require the payment of any liability prior to its due date if such anticipated payment will result in the allowance by the creditor in question of an advantageous discount to the Joint Venture for prompt payment;

11.1.6.2 As to any surplus of funds for the time being in the said banking account, subject to the agreement of the parties as payment to the parties in the Specified Proportions or in proportion to their participation of the time being in the Joint Venture, save that any such surplus shall first be utilised for the purpose of eliminating or reducing any disproportion in the ratios of the parties respective capital accounts.

11.2 Capital and Advances

11.2.1 The amount of capital required by the Joint Venture to attain its object (and which includes all loans, guarantees, indemnities, reserves) shall be determined from time to time by the Management Committee, and upon being so determined shall forthwith be contributed by the parties to the Joint Venture in the Specified Proportions.

11.2.2 If at any time any party to the Joint Venture shall, due to an emergency or with the consent in writing of the other parties advance any sum of money or to incur any liability on behalf of the Joint Venture over and above its due contribution to capital, then where money has been advanced, the same shall be a debt due from the Joint Venture to the party advancing the money, and shall be repayable on thirty days' notice and shall bear interest at Prime Bank rate as charged by Joint Venture's bankers per annum from date of advance to date of payment. Where a party has incurred a contingent liability on the above basis, the other parties shall, within thirty days of being requested to do so in writing, relieve such party of its obligations thereunder to the extent that the obligations of the parties are in the Specified Proportions.

12. ACCOUNTS

12.1 The Joint Venture shall cause proper books of account and complete records to be kept as are customary in the Republic of South Africa relating to all the assets and liabilities of the Joint Venture and expenses incurred or income received by the Joint Venture.

Such book and records shall not be related to the affairs of the parties individually. The said books of account and records, together with all letters, papers or writings concerning or belonging to the Joint Venture shall be kept at site and such other place from time to time as determined by the Management Committee, and each of the parties to the Joint Venture shall at all times have free access and the right to inspect and copy the same.

12.2 Within thirty days of the end of every quarter during the continuance of the Joint Venture, the Joint Venture shall furnish to the Management Committee all necessary documents such as balance sheets, profit and loss accounts, bank balances and comparisons with budget and forecasts of cash flow and profits as are necessary to keep the Management Committee informed of the financial affairs of the Joint Venture. Every such profit and loss account and balance sheet shall be agreed to and signed by the members of the Management Committee on behalf of the Joint Venture members, and when so signed, shall be binding on all the parties, except that if any manifest error therein be detected and pointed out by any party to the others at any time after such signature, such error shall forthwith be rectified.

12.3 After the completion of the contract and the release of all bonds, guarantees and obligations given for the performance of the parties in the Joint Venture, the joint Venture shall procure the preparation and auditing of a final balance sheet and profit and loss account, which shall be approved by the Management Committee, and from which the final profit and loss sustained by the Joint Venture shall be ascertained, and distributed to or contributed by the parties in proportion to their participation in the Joint Venture. This clause shall not be construed as prohibiting the interim distribution of profits or contribution towards losses in the discretion of the Management Committee.

13. WINDING UP

Upon the determination of the Joint Venture in accordance with the provisions of this agreement, a full and general account shall be taken of the assets and liabilities of the Joint Venture and of the transactions and dealings thereof, and with all convenient speed, such assets shall be sold and realised and the proceeds applied in paying and discharging such liabilities and the expenses of and incidental to the winding-up of the Joint Venture affairs and thereafter in paying to each Joint

Venture member its share of such proceeds in the Specified Proportions. The Joint Venture members respectively undertake to do all such things as may be necessary so as to give effect to the above.

14. BREACH

14.1 If a party ("the guilty party") shall commit a breach of any material provision of this agreement, and fail to remedy the same within a period of thirty (30) days after the receipt by it of written notice requiring it to do so, or be placed in liquidation or under judicial management, whether provisionally or finally, or propose any compromise with its creditors, the other parties ("the aggrieved parties") shall have the right, without prejudice to any of its other remedies arising from such breach, forthwith to terminate this agreement, in which event:

14.2 The guilty party's interest in the joint venture shall be taken over by the remaining parties. The aggrieved parties shall, in addition, have the right, if it so requires, to take over the capital account of the party in default.

Such capital account shall be valued on the basis of the nett assets revealed in an audited balance sheet and profit and loss account prepared as at the end of the month in which the default or other breach occurred; provided that the profit and loss account shall take into account the Joint Venture's share in the valuation of the work in progress, as shown in the Joint Venture accounts, at the date of preparation of the balance sheet and profit and loss account, after providing for any known or contemplated future losses to be incurred on the work undertaken or to be undertaken by the Joint Venture and provided further that should upon the completion of the contract or contracts, the provision for losses made in the valuation or work in progress as aforesaid prove to be incorrect, such provisions shall be adjusted. Provided the aggrieved parties have proved that the tender rates as escalated from time to time were inadequate, the guilty party shall be liable to the extent of the participation of such party for all losses incurred on the whole of the contract, including any losses incurred subsequent to the termination of the agreement in accordance with these provisions, but such party shall not be entitled to share in any profits earned subsequent to such termination.

14.3 The aggrieved parties shall have the right to recruit in its employment personnel seconded to the Joint Venture by the guilty party and, as a stipulation in favour of such personnel, the guilty party waives any claims it might otherwise have had against such personnel arising from their summary termination of their employment with the guilty party.

14.3 All plant hired by the guilty party to the Joint Venture shall remain on hire to and under the control of the aggrieved parties until the completion of the contract, or until the aggrieved parties shall release such plant from the operation of this sub-clause. Payment shall be made thereof monthly.

15. DISPUTES

15.1 Having regard to the high degree of good faith which must exist between the parties, the parties agree to do their utmost to ensure that the disputes between them are settled equitably and amicably and where possible without resort to arbitration.

15.2 In the event of any differences or dispute of whatever nature arising from this agreement (which shall include any failure to agree on any matter which requires the parties' agreement for the purposes of implementation of this agreement) or any other matter related thereto which cannot be settled by

direct negotiation between the parties, such differences or dispute shall be referred to arbitration in terms of Clause 16 hereof.

16. ARBITRATION

16.1 Save as hereinafter provided, any dispute at any time between any of the parties hereto in regard to any matter arising out of this agreement or its interpretation or rectification shall be submitted to and decided by arbitration.

16.2 The arbitration referred to in 16.1 shall be held –

16.2.1 At

16.2.2 In a summary manner, i.e. on the basis that it shall not be necessary to observe or carry out either

16.2.2.1 the usual formalities or procedure (e.g. there shall not be any pleadings or discovery); or

16.2.2.2 the strict rules of evidence.

16.2.3 Immediately and with a view to its being completed within twenty-one business days after it is demanded;

16.2.4 Otherwise (but subject to © (d) and (e) under the provisions of the Arbitration Act No. 42 of 1965 or the Republic of South Africa as amended from time to time).

16.3 The Arbitrator shall be, if the question in issue is -

16.3.1 Primarily an accounting matter, an independent accountant;

16.3.2 Primarily a legal matter, a practising Senior Counsel of not than five years standing as such;

16.3.3 Any other matter, an independent person unanimously agreed upon between the parties and failing agreement appointed by the President for the time being of the South African Federation of Civil Engineering Contractors.

16.4 If agreement cannot be reached within seven business days after the arbitration has been demanded as to whether the question in issue falls under 16.3.1, 16.3.2 or 16.3.3, then a Practising Senior Counsel of not less than five years' standing as such agreed upon between the parties, and failing agreement appointed by the President for the time being of the Society

Of Chartered Accountants as soon as possible thereafter, shall determine whether the question in issue falls under 16.3.1, 16.3.2 or 16.3.3 so that an arbitrator can be appointed and the arbitration can be held and concluded, if possible, within the prescribed period of twenty-one days.

16.5 The arbitrator shall decide the matters submitted to him according to what he considers just and equitable in the circumstances and, therefore, the strict rules of law need not be observed or be taken into account by him in arriving at his decision.

16.6 The parties irrevocably agree that the decision in those arbitration proceedings -

16.6.1 shall be binding on them;

16.6.2 shall be carried into effect;

16.6.3 can be made an order of any court of competent jurisdiction.

17. CONFIDENTIALITY

17.1 All matters relating to this agreement, any negotiations and the contract for the construction of the Works resulting therefrom shall be regarded by the parties hereto as being highly confidential, and shall not be disclosed without prior written consent of the management Committee to any party, person or

entity who or which is not a signatory to this Agreement, except where such disclosure is necessary for the fulfilment of this Agreement.

No party shall at any time hereinafter use any technical information, save that in the public domain, acquired from the other parties hereto except for the purposes of fulfilment of the contract.

17.2 No party shall have the right to advertise, or otherwise permit, the dissemination of publicity concerning its participation in the Joint Venture unless:

17.2.1 the relevant material shall make due reference to and acknowledgement of the work of the other parties;

17.2.2 the relevant material shall, for its dissemination is within the control of the party in question, have been approved by the other parties, which approval shall not be unreasonably withheld.

18. ASSIGNMENT

18.1 No party shall cede, assign or in any other way make over any of its rights or obligations under this agreement without the written consent of the other parties except insofar as such assignment or alienation is to any wholly-owned subsidiary company of that party.

18.2 In the event of such assignment or alienation taking place, the initial party shall jointly and severally and in solidum guarantee the obligations or the assignee towards the remaining parties.

19. GENERAL

19.1 No party shall have a claim against the other parties arising out of a failure to secure the contract, except insofar as the parties are liable to bear the joint venture expenses in the Specified Proportions.

19.2 Any changes and supplementary provisions concerning this agreement shall require the written approval of all the parties hereto.

19.3 Variations not effective unless in writing

No variation, modification or waiver of any provision of this agreement, or consent to any departure therefrom, shall in any event be of any force or effect unless unanimous and confirmed in writing and signed by the parties; then such variation, modification, waiver or consent shall be effective only in the specific instance and for the purpose and to the extent for which made or given.

19.4 Additions to the Joint Venture

No additional parties shall be admitted to the Joint Venture unless the parties to this agreement unanimously agree and subject to the Conditions of Contract for the Works. All sub-contractors must be approved by the Management Committee in accordance with procedures to be established by the said Committee.

19.5 Company formation

Should the parties at any time unanimously agree to form a company to take over the interest of the Joint Venture in the contract and the assets of the joint Venture, the parties undertake to enter into a Shareholders Agreement embodying insofar as it is reasonably possible and practicable the terms hereof and, in addition, including therein a provision affording each party a right of pre-emption to any shares in the company which the other may from time to time wish to dispose of. For the Works the formation of a company shall be subject to the General Conditions of Contract for the Works.

19.6 Domicilium

19.6.1 The parties hereto respectively choose domicilium citandi et executandi for all purposes of and in connection with this agreement as follows:

.....
.....
.....
.....

19.6.2 The parties hereto shall be entitled to change their domicilium from time to time, and any such change shall only be effective upon receipt of notice in writing by the other parties of such change.

19.6.3 All payments to be made pursuant to this agreement, and all notices, demands or communications intended for any party, shall be made or given at such party's domicilium for the time being, and if forwarded by prepaid registered post, shall be deemed to have been made or given seven days after the date of posting unless proved to the contrary.

19.7 Currency

All amounts referred to in this agreement and all monies payable to or by the parties to the Joint Venture in connection with the Joint Venture shall be both calculated and paid in currencies from time to time and at places to be agreed by the Management Committee.

19.8 Governing Law

This agreement shall be construed in accordance with and governed by the laws of Republic of South Africa. The English language version of this agreement shall prevail.

19.9 All correspondence between the parties in regard to this agreement and the contract shall be in the English language.

19.10 Each party shall bear its own costs incurred in the preparation and negotiation of this agreement.

19.11 This agreement over-rides any previous agreement or arrangements concluded between the parties in regard to the works and contract. Notwithstanding the provisions of Clause 19 hereof, the parties agree that any variations to the provision of this agreement and any decisions in terms of which this Joint Venture will undertake further work outside the original scope of the contract referred to earlier, shall require the unanimous agreement of the parties before becoming effective and binding on the parties.

19.12 In the interpretation of this agreement, works in the singular shall include the plural and vice versa as the context may require. The headings to clauses shall not be considered part thereof nor shall the words which they contain be taken into account in the interpretation of any clause.

THUS DONE AND SIGNED AT THISDAY OF 20....

For and behalf of:

.....

AS WITNESS:

1.
.....

2.
.....

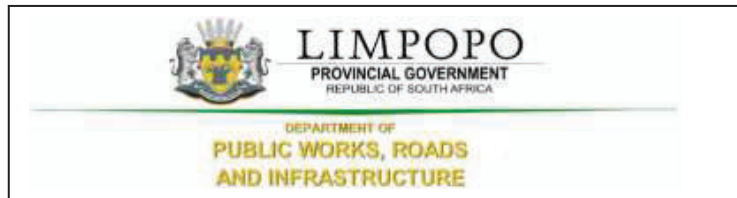
THUS DONE AND SIGNED AT THISDAY OF
..... 20...

For and behalf of:
.....

AS WITNESS:

1.

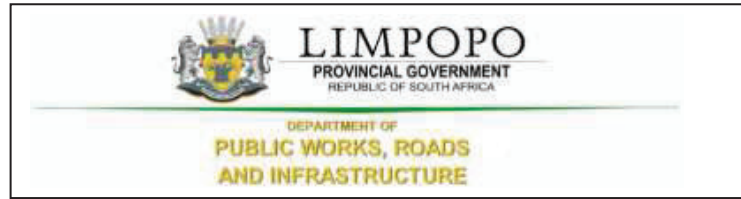
2.



PART C2: PRICING DATA

C2.1 Pricing instruction

- The Bills of Quantities have been drawn up in accordance with the Standard System of Measuring Building Work in accordance with the provisions of the Model Bills of Quantities or Electrical Work, published by the South African Association of Quantity Surveyors, (July, 2005).
- The agreement is under the JBCC N/S Subcontractor Agreement for use with the JBCC PBA (Edition 4.1 code 2101 March 2005) form of contract with Preliminaries (Code 2103 May 2005) incorporating the State Provisions of cl 41.0.
- It will be assumed that prices included in the Bills of Quantities are based on Acts, Ordinances, Regulations, By-laws, International Standards and National Standards that were published 28 days before the closing date for tenders.
- The prices and rates in these Bills of Quantities are fully inclusive prices for the work described under the items. Such prices and rates cover all costs and expenses that may be required in and for the execution of the work described in accordance with the provisions of the Scope of Work, and shall cover the cost of all general risks, liabilities, and obligations set forth or implied in the Contract Data, as well as overhead charges and profit. These prices will be used as a basis for assessment of payment for additional work that may have to be carried out.
- An item against which no price is entered will be considered to be covered by the other prices or rates in the Bills of Quantities. A single lump sum will apply should a number of items be grouped together for pricing purposes.
- The Contract Data and the standard form of contract referenced therein must be studied for the full extent and meaning of each and every clause set out in Section 1 (Preliminaries) of the Bills of Quantities.
- The Bills of Quantities is not intended for the ordering of materials. Any ordering of materials, based on the Bills of Quantities, is at the Contractor's risk.
- The shall set a minimum of 5 % of the project value for sub-contractor determine the amount to be paid for the Contract Participation Goal (CPG).



PART C2.2: BILLS OF QUANTITIES

Item No		Quantity	Rate	Amount
SECTION No. 1 BILL No. 1				
<u>PRELIMINARIES</u>				
i)	The agreement is to be the JBCC Series 2000 Principal Building Agreement (Edition 4.1 Code 2101 March 2005) prepared by the Joint Building Contracts Committee			
ii)	The preliminaries are to be the JBCC Series 2000 Preliminaries prepared by the Joint Building Contracts Committee, Code 2103 May 2005 Edition and shall be deemed to be incorporated herein			
iii)	Tenderers are referred to the above mentioned documents for the full intent and meaning of each clause thereof (hereinafter referred to by heading and clause number only) for which such allowance must be made as may be considered necessary			
iv)	Where standard clauses or alternatives are not entirely applicable to this contract such modifications, corrections or supplements as will apply are given under each relevant clause heading			
v)	Where any item is not relevant to this specific contract such item is marked N/A (signifying "not applicable")			
vi)	If Alternative A as set out in clause B10.3 hereinafter is to be used for the adjustment of the preliminaries each item priced is to be allocated to one or more of the three categories, where "F" denotes a fixed amount (amount not to be varied), "V" denotes an amount variable in proportion to value and "T" denotes an amount in proportion to time			
SECTION A: PRINCIPAL BUILDING AGREEMENT READ IN CONJUNCTION WITH THE CONTRACT DATA				
Carried to Collection				
Section No. 1 Bill No. 1 Preliminaries				
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				R

Definitions (A1)

1	Definitions and interpretation (clause 1) Fixed	Item
2	Value Related	Item
3	Time Related	Item

Objective (A2)

4	Offer acceptance and performance (clause 2) Fixed	Item
5	Value Related	Item
6	Time Related	Item

Preparation (A3-A14)

7	Documents (clause 3) Fixed	Item
8	Value Related	Item
9	Time Related	Item
10	Design responsibility (clause 4) Fixed	Item
11	Value Related	Item
12	Time Related	Item
13	Employer's agents (clause 5) Fixed	Item
14	Value Related	Item
15	Time Related	Item
16	Site representative (clause 6) Fixed	Item
17	Value Related	Item

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18	Time Related	Item
19	Compliance with regulations (clause 7) Fixed	Item
20	Value Related	Item
21	Time Related	Item
22	Works risk (clause 8) Fixed	Item
23	Value Related	Item
24	Time Related	Item
25	Indemnities (clause 9) Fixed	Item
26	Value Related	Item
27	Time Related	Item
28	Works insurance (clause 10) Fixed	Item
29	Value Related	Item
30	Time Related	Item
31	Liability insurances (clause 11) Fixed	Item
32	Value Related	Item
33	Time Related	Item
34	Effecting insurance (clause 12) Fixed	Item
35	Value Related	Item
36	Time Related	Item
37	No clause (clause 13) Fixed	Item
38	Value Related	Item
39	Time Related	Item

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40	Security (clause 14) Fixed		Item	
41		Value Related	Item	
42		Time Related	Item	
<u>Execution (A15-A22)</u>				
43	Preparation for and execution of the works (clause 15) Fixed		Item	
44		Value Related	Item	
45		Time Related	Item	
46	Access to the works (clause 16) Fixed		Item	
47		Value Related	Item	
48		Time Related	Item	
49	Contract instructions (clause 17) Fixed		Item	
50		Value Related	Item	
51		Time Related	Item	
52	Assignment (clause 19) Fixed		Item	
53		Value Related	Item	
54		Time Related	Item	
55	Setting out of the works (clause 18) Fixed		Item	
56		Value Related	Item	
57		Time Related	Item	
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The contractor shall notify the principal agent if any encroachments of adjoining foundations, buildings, structures, pavements, boundaries, etc. exist in order that the necessary arrangements may be made for the rectification of any such encroachments.

58	Nominated subcontractors (clause 20) Fixed	Item
59	Value Related	Item
60	Time Related	Item
61	Selected subcontractors (clause 21) Fixed	Item
62	Value Related	Item
63	Time Related	Item
64	Employer's Direct Contractors (clause 22) Fixed	Item
65	Value Related	Item
66	Time Related	Item
67	Contractor's Domestic Sub-Contractors (Clause 23) Fixed	Item
68	Value Related	Item
69	Time Related	Item
<u>Completion (A24-A30)</u>		
70	Practical completion (clause 24) Fixed	Item
71	Value Related	Item
72	Time Related	Item

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73	Works completion (clause 25) Fixed		Item	
74		Value Related	Item	
75		Time Related	Item	
76	Final completion (clause 26) Fixed		Item	
77		Value Related	Item	
78		Time Related	Item	
79	Latent defects liability period (clause 27) Fixed		Item	
80		Value Related	Item	
81		Time Related	Item	
82	Sectional completion (clause 28) Fixed		Item	
83		Value Related	Item	
84		Time Related	Item	
85	Revision of date of practical completion (clause 29) Fixed		Item	
86		Value Related	Item	
87		Time Related	Item	
88	Penalty for non-completion (clause 30) Fixed		Item	
89		Value Related	Item	
90		Time Related	Item	
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<u>Payment (A31 - A35)</u>			
91	Interim payment to the contractor (clause 31) Fixed	Item	
92	Value Related	Item	
93	Time Related	Item	
94	Adjustment to the contract value (clause 32) Fixed	Item	
95	Value Related	Item	
96	Time Related	Item	
Notwithstanding the provisions of clause 32.13 fluctuations in costs shall not be adjusted as per heyllet formular (CPA)			
97	Recovery of expense and loss (clause 33) Fixed	Item	
98	Value Related	Item	
99	Time Related	Item	
100	Final account and final payment (clause 34) Fixed	Item	
101	Value Related	Item	
102	Time Related	Item	
103	Payment to other parties (clause 35) Fixed	Item	
104	Value Related	Item	
105	Time Related	Item	
<u>Cancellation (A36-A39)</u>			
106	Cancellation by employer - contractor's default (clause 36) Fixed	Item	
107	Value Related	Item	
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108	Time Related	Item	
109	Cancellation by employer - loss and damage (clause 37) Fixed	Item	
110	Value Related	Item	
111	Time Related	Item	
112	Cancellation by contractor - employer's default (clause 38) Fixed	Item	
113	Value Related	Item	
114	Time Related	Item	
115	Cancellation - cessation of the works (clause 39) Fixed	Item	
116	Value Related	Item	
117	Time Related	Item	
	<u>Dispute (A40)</u>		
118	Settlement of disagreements and disputes (clause 40) Fixed	Item	
119	Value Related	Item	
120	Time Related	Item	
	<u>Contract variables (A41)</u>		
121	The schedule:Pre-tender information (clause 41) Fixed	Item	
122	Value Related	Item	
123	Time Related	Item	
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Information necessary for completion of those clauses contained in the schedule which are necessary for tender purposes is given hereunder

41.1.1

Employer:

DEPARTMENT OF PUBLIC WORKS ROADS AND INFRASTRUCTURE LIMPOPO

Postal Address:
Private Bag x 9490
POLOKWANE
0700

Physical Address:
43 Church Street
Polokwane
0699

Tel . (015) 284-7000 Fax (015) 284 7044
E-mail :

41.1.2

Principal Agent:

DEPARTMENT OF PUBLIC WORKS ROADS AND INFRASTRUCTURE LIMPOPO

Postal Address:
Private Bag x 9490
POLOKWANE
0700

Physical Address:
43 Church Street
Polokwane
0699

Tel . (015) 284-7000 Fax (015) 284 7044
E-mail :

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41.1.3

Other Agents: Architect

DEPARTMENT OF PUBLIC WORKS ROADS AND INFRASTRUCTURE LIMPOPO

Postal Address:
Private Bag x 9490
POLOKWANE
0700

Physical Address:
43 Church Street
Polokwane
0699

Tel . (015) 284-7000 Fax (015) 284 7044
E-mail :

41.1.4

Other Agents : Quantity Surveyors

DEPARTMENT OF PUBLIC WORKS ROADS AND INFRASTRUCTURE LIMPOPO

Postal Address:
Private Bag x 9490
POLOKWANE
0700

Physical Address:
43 Church Street
Polokwane
0699

Tel . (015) 284-7000 Fax (015) 284 7044
E-mail :

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41.2 CONTRACT DETAILS

41.2.1 Works Description:

The work consist of the construction of a new single storey traditional council building approximately **550m²**, guardhouse approximately **30m²** and general site works

41.2.2 Site Description:

The site is at Manangeng Village

41.2.3 Work for installation by direct contractors:

N/A

41.2.4 This agreement is for a government contract: contract where there are specific option that are applicable to a state organ only

Yes

41.2.5 Date on which possession of the site is intended to be given:
Approximately within 14 (fourteen) calender days from the date of the letter of acceptance

41.2.6 Period for the commencement of the works is immediately after the contractor takes possession of the site

41.2.7 Completion in sections are required

No

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41.2.8 Intended date of practical completion and the penalty per calender day for the works as a whole:
12 calendar months from the date of the possession of the site and penalties will be 0.05% of the contract sum

Penalty per calender day:
 0.05% of the Contract Sum per calendar day on which the completion of the work may be in arrears

SPECIAL COMPLETION REQUIREMENTS

Not applicable

124 41.2.9 Arbitration rules as recommended by the Association of Arbitrators (SA) Fixed

Item

125 Value Related

Item

126 Time Related

Item

127 41.2.10 The law applicable to this agreement shall be that of

South Africa Fixed

Item

128 Value Related

Item

129 Time Related

Item

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41.3 INSURANCES

130 41.3.1 Contract work's insurance

All risk and Public Liability Insurance for this contract shall be taken out by the Contractor in the joint names of the contractor and the employer. The cost of this insurance will be paid by the Contractor. Any excess in respect of a claim is to be paid for by the contractor

..

Item

131 41.3.2 Supplementary insurance:

Contractor shall be responsible for the taking out his own insurances for all plant and machinery used in the execution of this contract. The cost of this insurance shall be borne by the contractor. Fixed

Item

132 Value Related

Item

133 Time Related

Item

134 41.3.3 Public liability insurance to be effected by contractor

See clause 42.3.1 Fixed

Item

135 Value Related

Item

136 Time Related

Item

41.4 DOCUMENTS

41.4.1 Waivers of contractors lien is required

Yes

41.4.2 Number of construction document copies to be supplied free of charge: Three

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41.4.3 State other system if document is not drawn up in accordance with the Standard System of Measuring Building Work (6th Edition) (Revised) 1999

41.4.4 Number of days for submission of priced documents:
7 working days

Notwithstanding the provisions of Clause 41.4.4, no payments will be certified unless the priced document are agreed with the Quantity surveyors.

41.4.5 JBCC N/S Subcontract Agreement are to be included in the documents:
No

41.4.6 Alternative if contract value is not adjusted using CPAP:

Prices and rates shall remain firm and fixed, there shall be no adjustment of the tender amounts

41.4.7 Details of changes made to the provision of JBCC standard documentation:

Payment will be made 21 days after issue of a payment certificate.

The Contractor shall issue a Tax Invoice immediately to enable the Employer to process payment. For accounting purposes, the Employer's VAT number as required by current legislation on the Tax invoice is **to be advised**

SECTION B: PRELIMINARIES

Definition and interpretation (B1)

137	Definition and interpretation (B1.1 - B1.6.5) Fixed	Item
138	Value Related	Item
139	Time Related	Item

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<u>Documents (B2)</u>				
140	Checking of documents (B2.1) Fixed		Item	
141		Value Related	Item	
142		Time Related	Item	
143	These bills of quantities contain pages and annexures as indexed on the flyleaf The items in these bills of quantities are to be read and priced in conjunction with and the descriptions regarded as amplified by the Model Preambles for Trades as recommended and published by the Association of South African Quantity Surveyors, 2008 edition, and no claim arising from brevity of description of items fully described in the said Model Preambles for Trades will be entertained		Item	
144	Provisional bills of quantities (B2.2) Fixed		N/A	
145		Value Related	Item	
146		Time Related	Item	
147	Availability of construction documentation for contracts based on provisional bills of quantities (B2.3) Fixed		Item	
148		Value Related	Item	
149		Time Related	Item	
150	Interests of agents (B2.4) Fixed		Item	
151		Value Related	Item	
152		Time Related	Item	
153	Priced documents (B2.5) Fixed		Item	
154		Value Related	Item	
155		Time Related	Item	
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156	Tender submission (B2.6) Fixed	Item
157	Value Related	Item
158	Time Related	Item
159	Notwithstanding anything contained in this clause tenders shall be valid for a period of 45 days from the closing date of tenders Fixed	Item
160	Value Related	Item
161	Time Related	Item
<u>The site (B3)</u>		
162	Defined works area (B3.1) Fixed	Item
163	Value Related	Item
164	Time Related	Item
165	The area of the works to be occupied by the contractor, any restriction on the area and the limit of access or exit will be pointed out to the contractor by the principal agent at the official site briefing meeting.	Item
166	Geotechnical investigation (B3.2) Geotechnical information will be made available to the successful bidder at the site handover meeting Fixed	Item
167	Value Related	Item
168	Time Related	Item

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186		Value Related	Item	
187		Time Related	Item	
188	Protection of trees etc (B3.9) Fixed		Item	
189		Value Related	Item	
190		Time Related	Item	
191	Articles of value (B3.10) Fixed		Item	
192		Value Related	Item	
193		Time Related	Item	
194	Inspection of adjoining properties etc (B3.11) Fixed		Item	
195		Value Related	Item	
196		Time Related	Item	
	<u>Management of contract (B4)</u>			
197	Management of the works (B4.1) Fixed		Item	
198		Value Related	Item	
199		Time Related	Item	
200	Progress meetings (B4.3) Fixed		Item	
201		Value Related	Item	
202		Time Related	Item	
203	Technical meetings (B4.4) Fixed		Item	
204		Value Related	Item	
205		Time Related	Item	
	<u>Samples and shop drawings and manufacturer's instructions (B5)</u>			
206	Samples of materials (B5.1) Fixed		Item	
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207		Value Related	Item	
208		Time Related	Item	
209	Workmanship samples (B5.2) Fixed		Item	
210		Value Related	Item	
211		Time Related	Item	
212	Shop drawings (B5.3) Fixed		Item	
213		Value Related	Item	
214		Time Related	Item	
<u>Temporary works and plant (B6)</u>				
215	Deposits and fees (B6.1) Fixed		Item	
216		Value Related	Item	
217		Time Related	Item	
218	Enclosure of the works (B6.2) Fixed		Item	
219		Value Related	Item	
220		Time Related	Item	
221	Advertising (B6.3) Fixed		Item	
222		Value Related	Item	
223		Time Related	Item	
224	Plant, equipment, sheds and offices (B6.4) Fixed		Item	
225		Value Related	Item	
226		Time Related	Item	
227	Main notice board (B6.5) Fixed		Item	
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228	Value Related	Item	
229	Time Related	Item	
230	Subcontractors notice board (B6.6) Fixed	Item	
231	Value Related	Item	
232	Time Related	Item	
	<u>Temporary services (B7)</u>		
233	Location (B7.1) Fixed	Item	
234	Value Related	Item	
235	Time Related	Item	
236	Water (B7.2) Fixed	Item	
237	Value Related	Item	
238	Time Related	Item	
239	Electricity (B7.3) Fixed	Item	
240	Value Related	Item	
241	Time Related	Item	
242	Telecommunication equipment (B7.4) Fixed	Item	
243	Value Related	Item	
244	Time Related	Item	
245	Ablution facilities (B7.5) Fixed	Item	
246	Value Related	Item	
247	Time Related	Item	
	<u>Prime cost amounts (B8)</u>		
248	Responsibility for prime cost amounts (B8.1) Fixed	Item	
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249	Value Related	Item
250	Time Related	Item
<u>Attendance on N/S Subcontractors (B9)</u>		
251	General attendance (B9.1) Fixed	Item
252	Value Related	Item
253	Time Related	Item
254	Special attendance (B9.2) Fixed	Item
255	Value Related	Item
256	Time Related	Item
257	Commissioning - Fuel, water and power (B9.3) Fixed	Item
258	Value Related	Item
259	Time Related	Item
<u>Financial aspects (B10)</u>		
260	Statutory taxes, duties and levies (B10.1) Fixed	Item
261	Value Related	Item
262	Time Related	Item
263	Provision for Value Added Tax (VAT) is made in the Final Summary. Fixed	Item
264	Value Related	Item
265	Time Related	Item
266	Payment of preliminaries (B10.2) Fixed	Item
267	Value Related	Item
268	Time Related	Item

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269	Adjustment of preliminaries (B10.3) Fixed	Item
270	Value Related	Item
271	Time Related	Item
272	Payment certificate cash flow (B10.4) Fixed	Item
273	Value Related	Item
274	Time Related	Item
275	Contractor information supply (B10.5) Fixed	Item
276	Value Related	Item
277	Time Related	Item
<u>General (B11)</u>		
278	Protection of works (B11.1) Fixed	Item
279	Value Related	Item
280	Time Related	Item
281	Protection/isolation of existing/sectionally occupied works (B11.2) Fixed	Item
282	Value Related	Item
283	Time Related	Item
284	Site security (B11.3) Fixed	Item
285	Value Related	Item
286	Time Related	Item
287	Notice before covering work (B11.4) Fixed	Item
288	Value Related	Item
289	Time Related	Item

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290	Disturbance (B11.5) Fixed		Item
291		Value Related	Item
292		Time Related	Item
293	Works cleaning and clearing (B11.6) Fixed		Item
294		Value Related	Item
295		Time Related	Item
296	Vermin (B11.7) Fixed		Item
297		Value Related	Item
298		Time Related	Item
299	Overhand work (B11.8) Fixed		Item
300		Value Related	Item
301		Time Related	Item

Schedule of variables (B12)

302	Pre-tender information (B12.1) Fixed		Item
303		Value Related	Item
304		Time Related	Item

Information necessary for elections and completion of those clauses contained in the schedule which are necessary for tender purposes is given hereunder. Where no information is given it shall mean that either no details or specific requirements are available or that the clause is not relevant to this specific contract

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**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
 FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

<p>12.1.1 Provisional bills of quantities (B2.2) The quantities are provisional: Yes</p>			
<p>12.1.2 Availability of construction documentation (B2.3) Construction documentation is complete Yes</p>			
<p>12.1.3 Interest of agents (B2.4) N/A</p>			
<p>12.1.4 Defined works area (B3.1) See site information</p>			
<p>12.1.5 Geotechnical investigation (B3.2) To obtain from the Project Geotechnical Specialist Geotechnical information will be made available to the successful bidder at the site handover meeting</p>			
<p>12.1.6 Existing premises occupied (B3.4)</p>			
<p>12.1.7 Services - known (B3.7) Existing services and points of connection will be pointed out to the successful contractor by the principal agent</p>			
<p>12.1.8 Protection of trees (B3.9)</p>			
<p>12.1.9 Inspection of adjoining properties (B3.11)</p>			
<p>12.1.10 Enclosure of the works (B6.2)</p>			
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<p>Section No. 1 Bill No. 1 Preliminaries COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &</p>			

12.1.11 Offices (B6.4.3)

The contractor shall provide, maintain and remove on completion of the work an office minimum size 4 x 6 x 3m high internally, suitably insulated and ventilated, provided with electric lighting and fitted with boarded floor, desk, chair, and lockup drawer for drawings. The office shall be kept clean and fit for use at all times

12.1.12 Main notice board (B6.5)

The contractor shall provide, erect where directed, maintain and remove on completion of the works a notice board size 3 x 3m, all constructed of suitable boarding with flat smooth surface and with edging bead 19mm thick all round outer edges and projecting 12mm from face of boarding and rounded on front edge. The board shall be securely fixed to hoarding, where hoarding is provided, or fixed to and including a suitable supporting structure of timber or tubular posts and braces. The board is to be painted ivory white and the bead and 12mm wide dividing lines, deep blue. All wording shall be inscribed in deep blue painted "sans serif" lettering

12.1.13 Subcontractors notice board (B6.6)

A notice board is required

No

12.1.14 Water (B7.2)

Contractor to provide

12.1.15 Electricity (B7.3)

Contractor to provide

12.1.16 Telecommunications (B7.4)

Contractor to provide

12.1.17 Ablution facilities (B7.5)

Contractor to provide

12.1.18 Special attendance (B9.2)

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**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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	<p>12.1.19 Protection of the works (B11.1)</p> <p>12.1.20 Protection of existing/sectionally occupied works (B11.2) Protection is required Yes</p> <p>12.1.21 Disturbance (B11.5) The contractor's attention is drawn to the fact that certain portions of the Works will be constructed in the vicinity of built up areas, The contractor shall exercise all necessary precautions to ensure the safety and convenience of the public.</p> <p>305 Post tender information (B12.2) Fixed</p> <p>306 Value Related</p> <p>307 Time Related</p> <p>12.2.1 Payment of preliminaries Alternative selected: (B)</p> <p>12.2.2 Adjustment of preliminaries Alternative selected: (A)</p> <p>12.2.3 Additional agreed preliminaries item N/A</p> <p><u>SECTION C: SPECIFIC PRELIMINARIES</u></p> <p>308 PROPRIETARY BRANDED PRODUCTS The contractor shall take delivery of, handle, store, use apply and/or fix all proprietary branded products in strict accordance with the manufacturers' instruction after consultation with the manufacturer's authorized representative Fixed</p> <p style="text-align: center;">Carried to Collection</p> <p>Section No. 1 Bill No. 1 Preliminaries COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &</p>	<p>Item</p> <p>Item</p> <p>Item</p> <p>Item</p> <p>Item</p>		
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309	Value Related	Item	
310	Time Related	Item	
311	OVERTIME		
	Should overtime be required to be worked for any reason whatsoever, the costs of such overtime are to be borne by the contractor unless the principal agent has specifically authorized in writing, prior to the execution thereof, that costs for such overtime are to be borne by the employer. Fixed	Item	
312	Value Related	Item	
313	Time Related	Item	
314	AS BUILT DRAWINGS		
	The position of construction breaks and the extent of individual concrete pours are to be recorded by the contractor on the structural engineer's drawings and are to be submitted to the principal agent and the structural engineer for their records. Fixed	Item	
315	Value Related	Item	
316	Time Related	Item	
317	SITE INSTRUCTIONS		
	Site instructions issued on site are to be recorded in triplicate in a site instruction book which is to be maintained on site by the contractor Fixed	Item	
318	Value Related	Item	
319	Time Related	Item	
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320 **LABOUR RECORD**

At the end of each week the contractor shall provide the principal agent with a written record, in schedule form, reflecting the number and description of tradesmen and labourers employed by him and all subcontractors on the works each day. Fixed

Item

321 Value Related

Item

322 Time Related

Item

323 **PLANT RECORD**

At the end of each week the contractor shall provide the principal agent with a written record, in schedule form, reflecting the number, type and capacity of all plant, excluding hand tools, currently used on the works. Fixed

Item

324 Value Related

Item

325 Time Related

Item

326 **NON CESSION OF MONIES**

The contractor shall not cede nor assign his rights or claims to any monies due or to become due under this contract Fixed

Item

327 Value Related

Item

328 Time Related

Item

329 **BLACK ECONOMIC EMPOWERMENT**

The contractor shall study and acquaint himself with the guidelines of the Black Economic Empowerment Act, and demonstrate his compliance with the requirements of the Act. Fixed

Item

330 Value Related

Item

331 Time Related

Item

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**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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332	LOCAL LABOUR			
	The contractor shall make use of local labour. It is desirable by the Employer that all unskilled labour be recruited from the local areas of the vicinity of the Works. The contractor will demonstrate his effort to fulfill compliance with this requirement Fixed		Item	
333		Value Related	Item	
334		Time Related	Item	
335	LABOUR DESK			
	The contractor shall establish a labour desk on site with a dedicated office of maximum 9m2 with and including a desk, 2 chairs and electricity. From the labour desk, the contractor will appoint a dedicated community liaison officer at a salary of R 5 500 per month . The community liaison officer will be employed by and will report to the contractor, who will in turn forward such reports to the Principal Agent. Fixed		Item	
336		Value Related	Item	
337		Time Related	Item	
338	SITE ACCOMMODATION STORAGE			
	Provide an office facilities for Principal Agent Representative (to include desk, 2chairs and Electricity per office) Provide meeting Facility to accommodate 12 chairs Provide Ablution facilities for the above Fixed		Item	
339		Value Related	Item	
340		Time Related	Item	
341	HEALTH AND SAFETY ACT (Act 85 of 1993)			
	Compliance with the Occupational Health and Safety Act (Act 85 of 1993) and all relevant and applicable regulations, especially the Construction Health & Safety Act (Act 85 of 1993) (as amended) for the duration of the contract Fixed		Item	
		Carried to Collection		R
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342	Value Related		Item	
343	Time Related		Item	
344	Provisions of OH&S Plan prior to commencement of works as well as a full consolidated copy of such plan at the completion of construction work inclusive of a record of all drawings, designs, copies of statutory appointments, material used and other similar information concerning completed contract		Item	
345	Implementation of approved OHS Plan for duration of contract, including daily/weekly inspections, monthly meetings, required audits, consolidated health and safety file, etc		Item	
346	Registration with Compensation Fund or approved /licensed compensation insurer		Item	
347	Full time competent employee of the Contractor as safety construction supervisor and assistant safety construction supervisors for duration of contract		Item	
348	Health and safety training and induction requirements of all persons entering the site		Item	
349	HIV AND AIDS POLICY Observation of all legislation, policies and by-laws regulating the "AIDS" endemic and "HIV" prevention, treatment and observation		Item	
	<u>Provision of Training Allowance in terms of EPWP prescripts</u>			
350	Training allowance paid to targeted labour in terms of formal training days	PDT	1	
351	Extra over for the administration payment of training allowances to targeted labour (25% of training allowance)		Item	10 000.00
352	Transport and accommodation of workers for training where it is not possible to undertake the training in close proximity to the site (Provisional Sum)		Item	2 000.00
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Preliminaries

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

Item No		Quantity	Rate	Amount
	<u>SECTION No. 2BILL No. 2</u>			
	<u>CONCRETE, FORMWORK AND REINFORCEMENT</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>UNREINFORCED CONCRETE CAST AGAINST EXCAVATED SURFACES</u>			
	<u>15Mpa/19mm Concrete</u>			
1	Apron	m3	21	
	<u>REINFORCED CONCRETE CAST AGAINST EXCAVATED SURFACES</u>			
	<u>30 MPa/19mm Concrete</u>			
2	Base	m3	2	
	<u>REINFORCED CONCRETE</u>			
	<u>30 MPa/19mm Concrete</u>			
3	Slab	m3	1	
4	Columns	m3	6	
	<u>25 MPa/19mm Concrete</u>			
5	Ring beam	m3	8	
	<u>TEST BLOCKS</u>			
6	Making and testing a set of three 150 x 150 x 150mm concrete strength test cube (Provisional)	No	24	
	Carried to Collection			
	Section No. 2			
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	Concrete, Formwork & Reinforcement			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

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	<u>Finishing top surfaces of concrete smooth with a wood float</u>		
7	Surface beds, slabs, etc	m2	822
	<u>SMOOTH FORMWORK (DEGREE OF ACCURACY II)</u>		
	<u>Smooth formwork to sides</u>		
8	Edges, risers, ends and reveals not exceeding 300mm high or wide	m	346
9	Edges, risers, ends and reveals, exceeding 300mm high or wide	m	14
10	Columns propped up exceeding 1,50m and not exceeding 3,50m high	m2	44
	<u>Smooth formwork to soffits</u>		
11	Slabs propped up exceeding 1,50m and not exceeding 3,50m high	m2	11
	<u>REINFORCEMENT</u>		
	<u>Mild steel reinforcement to structural concrete work</u>		
12	Steel bar reinforcement of various diameters (100kg/m3)	t	7.52
	<u>Fabric reinforcement</u>		
13	Ref 193 mesh steel reinforcement in concrete walls, etc	m2	651

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Bill No. 1

Concrete, Formwork & Reinforcement

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Concrete, Formwork & Reinforcement

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Concrete, Formwork & Reinforcement

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Item No	SECTION No. 2BILL No. 3	Quantity	Rate	Amount
	<u>MASONRY</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>SUPPLEMENTARY PREAMBLES</u>			
	<u>BRICKWORK</u>			
	<u>Sizes in descriptions</u>			
	Where sizes in descriptions are given in brick units, "one brick" shall represent the length and "half brick" the width of a brick			
	<u>Face bricks</u>			
	Bricks shall be ordered timeously to obtain uniformity in size and colour			
	<u>Pointing</u>			
	Descriptions of recessed pointing to fair face brickwork and face brickwork shall be deemed to include square recessed, hollow recessed, weathered pointing, etc			
	<u>FOUNDATIONS</u>			
	<u>Brickwork of NFXE bricks (14 MPa nominal compressive strength) in class I mortar in loadbearing walls etc</u>			
1	Brick piers	m3	1	
2	Half brick wall	m2	105	
3	One brick walls	m2	327	
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	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

	<u>Brickwork reinforcement</u>		
4	75mm Wide reinforcement built in horizontally	m	615
5	150mm Wide reinforcement built in horizontally	m	1 897
	<u>SUPERSTRUCTURE</u>		
	<u>Brickwork of NFXE bricks (14 MPa nominal compressive strength) in class I mortar in loadbearing walls etc</u>		
6	Brick piers	m3	3
7	Half brick walls	m2	212
8	Half brick wall in beamfilling	m2	45
9	One brick walls	m2	706
	<u>BRICKWORK SUNDRIES</u>		
	<u>Galvanised hoop iron cramps, ties, etc</u>		
10	30 x 1,6mm Roof tie 1,5m long with one end fixed to timber and other end built into brickwork	No	174
	<u>Brickwork reinforcement</u>		
11	75mm Wide reinforcement	m	941
12	150mm Wide reinforcement	m	2 084
	<u>Prestressed precast concrete fabricated lintels</u>		
13	110 x 75mm Lintels in lengths exceeding 3m	m	90
	<u>Turning pieces to lintels etc</u>		
14	110mm Wide turning pieces	m	143
	<u>FIBRE-CEMENT WINDOW SILLS</u>		
	Carried to Collection		
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	Masonry		
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &		

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	<u>Natural grey sills in single lengths bedded in class II mortar including metal fixing lugs etc</u>		
15	15 x 150mm Wide sills set flat and slightly projecting	m	66
	<u>Joint forming material in movement joints</u>		
16	12mm Fibre board built in vertically between concrete surface and brick skins	m2	8
	<u>FACE BRICKWORK</u>		
	<u>External facings in approved face bricks (FBS) with a PC Amount of R 5 500.00 per thousand bricks delivered to site (excluding VAT) pointed with square recessed horizontal and vertical joints</u>		
17	Extra over brickwork for face brickwork in foundation	m2	101
18	Extra over brickwork for external face brickwork	m2	412
19	Extra over brickwork for brick-on-edge header course lintels one course high, pointed on face and 110mm soffit	m	67
	<u>Brick-on-edge header course copings, sills, etc of Approved face bricks (FBS) with a PC Amount of R 3 500.00 per thousand bricks delivered to site (excluding VAT) pointed with polished recessed joints on all exposed faces</u>		
20	180mm Wide sill sloping and slightly projecting	m	66

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Section No. 2
 Bill No. 2
 Masonry

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Masonry

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Masonry

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FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

Item No	SECTION No. 2 BILL No. 4	Quantity	Rate	Amount
	<u>WATERPROOFING</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>SUPPLEMENTARY PREAMBLES</u>			
	<u>Waterproofing</u>			
	Waterproofing of roofs, basements, etc shall be laid under a ten year guarantee. Waterproofing to roofs shall be laid to even falls to outlets etc with necessary ridges, hips and valleys. Descriptions of sheet or membrane waterproofing shall be deemed to include additional labour to turn-ups and turn-downs			
	Waterproofing to roofs shall be laid to even falls to outlets etc with necessary ridges, hips and valleys. Descriptions of sheet or membrane waterproofing shall be deemed to include additional labour to turn - ups and turn - downs			
	<u>DAMP-PROOFING OF WALLS AND FLOORS</u>			
	<u>One layer of 375 micron "Consol Plastics Brikgrip DPC" embossed damp proof course</u>			
1	In walls	m2	77	
2	In walls under cills	m2	29	
	<u>WATERPROOFING TO ROOFS, BASEMENTS, ETC</u>			
	<u>4mm "Derbigum SP" waterproofing</u>			
3	To upstands, etc	m2	11	
	<u>JOINT SEALANTS ETC</u>			
	Carried to Collection			R
	Section No. 2 Bill No. 3 Waterproofing			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

Two-part grey polysulphide sealing compound including backing cord, bond breaker, primer, etc

4	10 x 15mm In expansion joints in floors including raking out expansion joint filler as necessary	m	28
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Carried to Collection

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Section No. 2
Bill No. 3
Waterproofing

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Bill No. 3

Waterproofing

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Bill No. 3

Waterproofing

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Item No	SECTION No. 2BILL No. 5	Quantity	Rate	Amount
	<u>ROOF COVERING</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>PROFILED METAL SHEETING AND ACCESSORIES</u>			
	<u>0,6mm "Brownbuilt Kliplock" steel sheet in single lengths fixed to steel rails and 900mm centres embossed galvanised sheet steel accessories</u>			
1	Roof covering with 25 degrees pitch	m2	818	
2	Ridge capping 550mm girth	m	84	
3	Valley cappings 550mm girth	m	22	
4	Hip capping 550mm girth	m	27	
	<u>SHEET METAL FLASHINGS, LININGS, COPINGS, ETC</u>			
	<u>0,6mm Galvanised sheet iron</u>			
5	Flashings	m2	1	
	<u>ROOF AND WALL INSULATION</u>			
	<u>"Sisalation 410" housing grade glass fibre reinforced aluminium foil bonded insulation</u>			
6	Insulation laid taut over purlins (at approximately 1,20mm centres) and fixed concurrent with roof covering including galvanised steel straining wires	m2	804	
	Carried Forward to Summary of Section No. 2			
	Section No. 2 Bill No. 4 Roof Coverings			R
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

Item No		Quantity	Rate	Amount
	<u>SECTION No. 2BILL No. 6</u>			
	<u>CARPENTRY AND JOINERY</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>ROOFS ETC</u>			
	<u>Plate nailed timber roof truss construction</u>			
	The following is applicable in respect of roof trusses:			
	Trusses are at maximum 760mm centres			
	Roof covering is Double Roman Concrete Tiles			
	on 38 x 38mm battens on Ceilings are 4mm Fibre			
	Cement board ceiling The references given in the			
	descriptions are to the respective types of trusses			
	detailed on the architect's drawings numbered annexed			
	to these bills of quantities/accompanying these bills of			
	quantities for tender purposes			
	The dimensions in the descriptions of the trusses are			
	nominal and actual measurements are to be obtained			
	from the architect and/or the site before design or			
	fabrication commences			
	<u>ROOFS, ETC</u>			
	<u>Engineering Design</u>			
1	Allow for engineering design and certificate under the control of a registered structural Engineer in accordance with SABS 0160 AND 0163- Main Building	Item		
2	Allow for engineering design and certificate under the control of a registered structural Engineer in accordance with SABS 0160 AND 0163- Guardhouse	Item		
	<u>Sawn softwood</u>			
3	38 x 114mm Wall plates	m	242	
	Carried to Collection			R
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	Carpentry			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE			
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4	Roof construction to double pitched roof with three hipped ends and one valley, 14.04 x 6.96m overall on plan x 1251mm high overall, including trusses, jack rafters, permanent bracing and 50 x 76mm purlins at 1000mm centres for roof covering (wall plates elsewhere)	No	2	
5	Roof construction to double pitched roof one valley ends, 14.15 x 10.19m overall on plan x 1846mm high overall, including trusses, jack rafters, permanent bracing and 50 x 76mm purlins at 1000mm centres for roof covering (wall plates elsewhere)	No	1	
6	Roof construction to double pitched roof with one valley ends, 13.92 x 10.19m overall on plan x 1846mm high overall, including trusses, jack rafters, permanent bracing and 50 x 76mm purlins at 1000mm centres for roof covering (wall plates elsewhere)	No	1	
7	Roof construction to double pitched roof with gable ends, 9.97 x 6.96m overall on plan x 1251mm high overall, including trusses, jack rafters, permanent bracing and 50 x 76mm purlins at 1000mm centres for roof covering (wall plates elsewhere)	No	1	
8	Roof construction to double pitched roof with gable ends, 5.663 x 7.322m overall on plan x 1251mm high overall, including trusses, jack rafters, permanent bracing and 50 x 76mm purlins at 1000mm centres for roof covering (wall plates elsewhere)	No	1	
	<u>Wrought laminated Saligna</u>			
9	50 x 150mm Bolted beams, pergola beams, etc	m	6	
	<u>FACIAS, BARGE BOARDS, ETC:</u>			
10	12 x 225 mm Fibre cement barge board drilled and brass screwed and including steel jointing strips between lengths.	m	235	
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COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &				

	<u>SKIRTINGS</u>			
	<u>Wrought Meranti</u>			
11	19 x 76mm Skirting nailed to walls with heads of nails punched and filled including 19mm quadrant bead planted on at junction with floor	m	23	
	<u>DOORS</u>			
	NOTE All framed and ledged batten doors and combination doors, where battens are utilised, shall only be of construction acceptable SABS, i.e. mortice and tenon where the tenon is exposed on the outside edges of styles and where the tenon is wedged to form a dovetailed shape			
	<u>Semi-solid core door with 3mm thick tampered Hardboard sides and concealed hardware edges</u>			
12	44 mm Door, size 813 x 2032 mm.	No	14	
	<u>Solid core door with 3mm thick tampered Hardboard sides and concealed hardware edges</u>			
13	44 mm Door, size 813 x 2032 mm.	No	7	
14	44 mm Door, size 900 x 2032 mm.	No	2	
15	44 mm Double door, size 1511 x 2032mm.	No	1	
	<u>Wrought meranti doors hung to steel frames</u>			
16	44mm Framed, ledged and braced batten door 813 x 2032mm high of 150mm wide top rail and stiles, 22 x 150mm middle ledge and braces and 22 x 220mm bottom ledge, filled in with 22mm tongued and grooved V-jointed one side vertical boarding with tongued and grooved joints to top rail and stiles and with inner edges of framing and abutting edges of boarding chamfered to form V-joint	No	7	
	Carried to Collection			R
	Section No. 2 Bill No. 5 Carpentry			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

BUDGETARY ALLOWANCES

17 Provide the sum of R 30 000-00 (Thirty thousand Rand) for the Sectional Overhead Sliding Double Garage Door installed complete.

Item

30 000.00

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Section No. 2
 Bill No. 5
 Carpentry

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Carpentry

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Bill No. 5

Carpentry

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Item No	SECTION No. 2BILL No. 7	Quantity	Rate	Amount
	<u>CEILINGS, PARTITIONS AND ACCESS FLOORING</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>SUPPLEMENTARY PREAMBLES</u>			
	<u>Descriptions:</u>			
	Items described as "nailed" shall be deemed to be fixed with hardened steel nails or pins or shot pinned to brickwork or concrete			
	Items described as "plugged" shall be deemed to include screwing to fibre, plastic or metal plugs at not exceeding 600mm centres, and where described as "bolted" the bolts have been given elsewhere			
	<u>CEILINGS ETC</u>			
	<u>NAILED UP CEILINGS</u>			
	<u>12,5mm "Rhino" gypsum plasterboard with taped and skimmed joints finished with one coat rhinolite plaster</u>			
1	Ceilings including 38 x 38mm sawn softwood brandering at 350mm centres	m2	446	
2	Extra over ceiling for opening of 650 x 650mm trap door complete with trimmers, frame,etc	No	11	
	<u>Cornices</u>			
3	50 mm Fibre cement coved cornice planted on including mitres, etc.	m	464	
	<u>SUSPENDED CEILINGS</u>			
	Carried to Collection			R
	Section No. 2 Bill No. 6 Ceilings, partitions and Access Flooring			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

	<u>Pre-painted 600 x 1200 x 17mm "Armstrong Fine Fissured 95% RH" or equally approved acoustic panels on aluminium pre-painted exposed tee suspension system including main and cross tees, necessary hangers, grids, etc</u>		
4	Ceilings suspended not exceeding 1m below steel trusses	m2	205
	<u>Cornices to suspended ceilings</u>		
5	25 x 25mm Angle profile cornice	m	103
	<u>Aerolite insulation</u>		
6	50mm Thick insulation laid on ceiling boards	m2	651

Carried to Collection

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Bill No. 6

Ceilings, partitions and Access Flooring

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Bill No. 6

Ceilings, partitions and Access Flooring

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Bill No. 6

Ceilings, partitions and Access Flooring

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

Item No	SECTION No. 2 BILL No. 8	Quantity	Rate	Amount
	<p><u>FLOOR COVERINGS, WALL LININGS, ETC.</u></p> <p><u>PREAMBLES</u></p> <p>For Preambles see "Model Preambles For Trades"</p> <p>All materials shall be in colours to be selected by the Representative/Agent and, where applicable, laid to approved patterns</p> <hr/> <p><u>FLOOR COVERINGS</u></p> <p><u>500 x 500mm "Nexus Berber Point" or equally approved carpet tiles</u></p>			
1	On floors	m2	1	
	<p>Carried Forward to Summary of Section No. 2</p> <p>Section No. 2 Bill No. 7 Floor Coverings, Wall Linings, etc.</p> <p>COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &</p>			R

Item No	Quantity	Rate	Amount
<p><u>IRONMONGERY</u></p>			
<p><u>SECTION No. 2 BILL No. 9</u></p>			
<p><u>PREAMBLES</u></p>			
<p>For Preambles see "Model Preambles For Trades"</p>			
<p><u>SUPPLEMENTARY PREAMBLES</u></p>			
<p>Items, materials or methods to be used specified by trade names or catalogue numbers are only an indication of the quality required. Items, materials or methods of similar quality may be used with prior approval from the architect</p>			
<p><u>Finishes to ironmongery</u></p>			
<p>Where applicable finishes to ironmongery are indicated by suffixes in accordance with the following list BS Satin bronze lacquered CH Chromium plated SC Satin chromium plated SE Silver enamelled GE Grey enamelled AS Anodised silver AB Anodised bronze AG Anodised gold ABL Anodised black PB Polished brass PL Polished and lacquered PT Epoxy coated SD Sanded</p>			
<p><u>Fixing</u></p>			
<p>Items described as "plugged" shall be deemed to include screwing to fibre, plastic or metal plugs in brickwork or concrete</p>			
<p><u>References</u></p>			
<p>References in brackets at the end of descriptions refer to the Architect's schedules</p>			
<p><u>LOCKS</u></p>			
<p>Carried to Collection</p>			
<p>Section No. 2 Bill No. 8 Ironmongery</p>			
<p>COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &</p>			
		R	

"Union"

1	Three lever double cylinder lockset code 2222 or similar with Gower Handel code CZ682-05 SC complete with striking plate fixed to metal	No	36
2	Four-lever lockset with striking plate fixed to metal	No	7
3	DMWS-SS-008 or similar Bathroom /WC small case deadlock	No	8

LETTERS, NAMEPLATES, ETC

4	DSS4 'Wheelchair' or similar pictogram on 76mm diameter stainless steel plate	No	2
5	DSS2 'Female' or similar pictogram on 76mm diameter stainless steel plate	No	2
6	DSS1 'Male' or similar pictogram on 76mm diameter stainless steel plate	No	3
7	DSS1 'Toilet' or similar pictogram on 76mm diameter stainless steel plate	No	1

SUNDRIES

"Dorma " or similar approved

8	AL87722AS Hat and coat hook with rubber tip	No	10
9	Approved Aluminium door stop with rubber insert	No	50
10	Overhead surface mounted type door closer with aluminium casing	No	8

"Kimberley Clark" or similar approved

11	Approved soap dispenser, top-up system with 800ml capacity fixed against wall in positions as shown on detail layouts and details, all as per manufacturers spec	No	8
12	Approved toilet paper dispenser fixed against wall as per manufacturers specifications	No	8

Carried to Collection

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Section No. 2
 Bill No. 8
 Ironmongery

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
 FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

13 425792 'Kim dry' towel dispenser rail fixed against wall
as per manufacturers spec

No

8

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Ironmongery

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Ironmongery

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Ironmongery

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

Item No	<u>SECTION No. 2 BILL No. 10</u>	Quantity	Rate	Amount
	<p><u>STRUCTURAL STEELWORK</u></p> <p><u>PREAMBLES</u></p> <p>For Preambles see "Model Preambles For Trades"</p> <p><u>SUPPLEMENTARY PREAMBLES</u></p> <p><u>Descriptions</u></p> <p>Descriptions of bolts shall be deemed to include nuts and washers</p> <p>Descriptions of L-shaped and U-shaped anchor bolts shall be deemed to include bending, threading, nuts and washers and embedding in concrete</p> <p>Descriptions of expansion anchors and bolts and chemical anchors and bolts shall be deemed to include nuts, washers and mortices in brickwork or concrete</p> <p>Descriptions of L-shaped and U-shaped anchor bolts shall be deemed to include bending, threading, nuts and washers and embedding in concrete. Where anchor bolts are described as embedded in sides or soffits of concrete it shall be deemed to include holes through formwork.</p> <p>Descriptions of expansion anchors and bolts and chemical anchors and bolts shall be deemed to include nuts, washers and mortices in brickwork or concrete.</p> <p><u>GLAVANISED STEEL COLUMNS AND BEAMS</u></p> <p><u>Welded columns in single length, with flat section base, top, bearer and connection plates bolted to reinforced concrete at bottom and parallel flanged channel top</u></p>			
1	100mm x 3mm x 4.53kg/m circular hollow section column	t	0.53	
	Carried to Collection			R
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	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

2	150 x 150 x 10mm Base plates including 4 no . holes to suite m16 bolts. bolts included	No	4
3	150 x 150 x 10mm Top connector plates including 2 no . holes to suite m16 bolts. bolts included	No	4

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Section No. 2
 Bill No. 9
 Structural Steel work

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Bill No. 9

Structural Steel work

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Bill No. 9

Structural Steel work

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

Item No	SECTION No. 2BILL No. 11	Quantity	Rate	Amount
	<p><u>METALWORK</u></p> <p><u>PREAMBLES</u></p> <p>For Preambles see "Model Preambles For Trades"</p> <p><u>SUPPLEMENTARY PREAMBLES</u></p> <p><u>Descriptions</u></p> <p>Descriptions of bolts shall be deemed to include nuts and washers</p> <p>Descriptions of expansion anchors and bolts and chemical anchors and bolts shall be deemed to include nuts, washers and mortices in brickwork or concrete</p> <p>Metalwork described as "bolted" shall be deemed to exclude the bolts unless otherwise described</p> <p><u>Hot-dipped double spelter galvanised mild steel grab rails formed of 32mm outside diameter x 1.6mm round section rails and 75mm diameter x 3mm flat section fixing flanges each three times holed and bolted to walls with M8 x 50mm expansion bolts</u></p>			
1	32mm Grab rail 700mm long with two 80mm return ends bolted	No	4	
	<p><u>PRESSED STEEL GATES</u></p> <p><u>The following in framed and welded mild steel security gates and fixing in position complete</u></p>			
2	2100 x 900mm Steel gate comprising of 75 x 50 x 2mm square tubing outer frame and 20 x 20mm square tubing verticals at 120mm centres	No	6	
	Carried to Collection			R
	Section No. 2 Bill No. 10 Metalwork			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

PRESSED STEEL DOOR FRAMES

NOTE

The rates for door frames shall include for welding of all hinge pins at completion

1,2mm thick Double rebated mild steel door frames suitable for half brick walls. Frame complete with one pair standard butt hinges and factory applied primer

3	Frame for door 813 x 2032mm high	No	7
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4	Frame for door 813 x 2032mm high and fixed fanlight 305mm high	No	10
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1,2mm thick Double rebated mild steel door frames suitable for one brick walls. Frame complete with one pair standard butt hinges and factory applied primer

5	Frame for door 813 x 2 032mm high	No	9
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6	Frame for door 813 x 2032mm high and fixed fanlight 305mm high	No	2
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7	Frame for door 914 x 2 032mm high	No	2
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8	Frame for door 1 511 x 2 032mm high	No	1
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STEEL RECORDROOM AND STRONGROOM DOORS, VENTILATORS, ETC

"Mutual" strongroom doors etc suitable for 230mm walls fixed to brickwork or concrete

9	"Mutual DS3 CAT2" strongroom door and frame 775 x 1875mm high overall with a mass of 380kg	No	2
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STEEL WINDOWS, DOORS, ETC

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 Bill No. 10
 Metalwork

COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &

Standard residential windows with 10mm square burglar bars to fixed lights and opening sashes

10	Window type NE1, 533 x 654mm high	No	9
11	Window type NCT1S, 533 X 949mm high	No	3
12	Window type ND2, 1022 x 1245mm high	No	20
13	Window type ND4, 1511 x 1245mm high	No	8
14	Window type NE8, 1022 x 654mm high	No	6
15	Window type NG2, 1022 x 359mm high	No	6

ALUMINIUM SLIDING DOORS

Natural anodised sliding doors as per "AAMSA specification" system, complete with subframes, ironmongery, glass, sealing, etc and fixing to brickwork or concrete

16	Standard door type OXXO 147 (4221), 4100 x 2095mm high (W8)	No	1
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ALUMINIUM SHOPFRONTS

Natural anodized shopfronts as per AAMSA spec complete with subframes, ironmongery, glass, sealing, etc and fixing to brickwork or concrete

17	Purpose made shopfront, 6780 x 2510mm high with one double door 1800 x 2510mm high with two corner and side fixture of 2580 x 2510mm each (W7)	No	1
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Section No. 2
Bill No. 10
Metalwork

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Metalwork

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Bill No. 10

Metalwork

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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Item No		Quantity	Rate	Amount
	<u>SECTION No. 2BILL No. 12</u>			
	<u>PLASTERING</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>SCREEDS</u>			
	<u>Screeds on concrete</u>			
1	25mm Thick on floors	m2	651	
	<u>INTERNAL PLASTER</u>			
	<u>Cement plaster on brickwork</u>			
2	On vertical surfaces	m2	1 539	
3	On narrow widths	m2	21	
	<u>EXTERNAL PLASTER</u>			
	<u>Cement plaster on brickwork</u>			
4	On walls	m2	26	
5	On narrow width	m2	1	
	<u>CORNER PROTECTORS,DIVIDING STRIPS,ETC</u>			
6	30 X 3mm Flat section brass dividing strip between different floor finishes	m	11	
	Carried Forward to Summary of Section No. 2			
	Section No. 2			
	Bill No. 11			
	Plastering			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE			
	FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			
				R

Item No	SECTION No. 2BILL No. 13	Quantity	Rate	Amount
	<p><u>TILING</u></p> <p><u>PREAMBLES</u></p> <p>For Preambles see "Model Preambles For Trades"</p> <p><u>SUPPLEMENTARY PREAMBLES</u></p> <p>Unless described as "fixed with adhesive to plaster (plaster elsewhere)" descriptions of tiling on brick or concrete walls columns, etc shall be deemed to include 1:4 cement plaster backing and descriptions of tiling on concrete floors etc shall be deemed to include 1:3 plaster bedding</p> <p><u>WALL TILING</u></p> <p><u>198 x 198 x 6mm White glazed ceramic wall tiles fixed with an approved tile adhesive to plaster (elsewhere measured) and jointed with waterproofing coloured jointing compound</u></p>			
1	On vertical surfaces	m2	149	
	<p><u>FLOOR TILING</u></p> <p><u>Approved 600 x 600mm bodied Porcelain floor tiles (PC Amount of R300 excluding VAT) fixed on 25mm screed (elsewhere measured) flush pointed with tinted waterproof jointing compound and approved adhesive</u></p>			
2	On floors and landings	m2	651	
3	Skirting 75mm high (of cut tiles)	m	358	
	<p>Carried Forward to Summary of Section No. 2</p> <p>Section No. 2 Bill No. 12 Tiling</p> <p>COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &</p>			R

Item No		Quantity	Rate	Amount
	<u>SECTION No. 2BILL No. 14</u>			
	<u>PLUMBING AND DRAINAGE (PROVISIONAL)</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>RAINWATER DISPOSAL</u>			
	<u>0.6mm Galvanised sheet steel gutters and rainwater pipes with powder coated finish on outside.</u>			
1	100 x 75mm Rainwater pipes	m	159	
2	Extra over gutter for stopped end	No	2	
3	Extra over gutter for angle	No	2	
4	Extra over gutter for outlet for 75 x 75mm pipe	No	13	
5	75 x 75mm diameter rainwater pipes fixed to columns, etc	m	36	
6	Extra over rainwater pipe for bend	No	26	
7	Extra over rainwater pipe for eaves or plinth offset	No	13	
8	Extra over rainwater pipes for shoe	No	13	
	<u>STORMWATER CHANNEL</u>			
	<u>Rectangular cast in situ concrete surface water channels</u>			
9	100mm Thick shallow equal 'V' shaped rectangular 20MPa concrete drainage channel 1m wide overall including all earthworks, formwork and ref 193 mesh reinforcement cast in panels not exceeding 3m long, backfilling etc and finishing tops and sides smooth with woodfloat	m	1	
	Carried to Collection			R
	Section No. 2 Bill No. 13 Plumbing and Drainage (Provisional)			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

10	Extra over for angles, intersections, ends, dressing into sides of catchpits, etc	No	1	
	<u>SANITARY FITTINGS</u>			
	<u>Approved Water Tanks, etc</u>			
11	5000 litre Plastic Water tank for rain harvesting including installation	No	3	
	<u>'Vaal' or equally approved</u>			
12	635 x 485mm "Lotus" White vitreous china basin (code 7026) with three semi-punched tap holes and 301 slotted waste with plug and chain, with intergrated overflow mounted using universal half pedestal and hanger mechanism (code 715221)	No	12	
	<u>'Vaal' or equally approved</u>			
13	"Concorde" White vitreous china close coupled WC suite comprising 90 degrees outlet closed rim washdown pan (product code 7727700) and matching 9 litre top dual flush cistern (product code 7104DT) complete with lid, fitments and purpose made wooden seat (Code 852720)	No	6	
14	"Protea" Paraplegic white vitreous china floor mounted paraplegic WC pan (product code 750200) comprising 90 degrees outlet pan (product code 750200) and matching 9 litre cistern (product code 710631) including lid, fitment and purpose made chrome plated side flush lever	No	2	
	<u>'Vaal' or equally approved</u>			
15	Approved flat back wall mounted bowl urinal fixed with matching brackets, one C.P. flush valve complete with flush pipes as required and one approved C.P. plated bottle trap	No	2	
	Carried to Collection			R
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	Plumbing and Drainage (Provisional)			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

<u>'Franke' sink or equally approved</u>		
16	Approved 535 x 455mm Type 304 Stainless steel drip sink with 100mm splash back, grid, etc on 25 x 25mm brackets all as supplied by manufacturers installed 500 mm F.F.L, one 20mm C.P hose bib cock 1000mm F.F.L, one 40mm diameter C.P outlet an one 40mm diameter C.P bottle trap	No 1
17	Single bowl 900mm x 500mm Type 304 stainless steel inlay type fixed onto kitchen unit, one approved C.P mixer, one 40mm diameter C.P outlet and one one approved 40mm diameter C.P. bottle trap	No 1
<u>WASTE UNIONS</u>		
<u>Cobra Watertech</u>		
18	40mm 316 CP sink waste union	No 3
<u>TRAPS ETC</u>		
<u>Traps, etc. including joints to steel pipes and/or fittings unless otherwise described</u>		
19	40mm Deep seal "P" or "S" trap	No 15
<u>Chromium plated</u>		
20	Flexible connectors, etc.	No 24
<u>TAPS, VALVES, ETC</u>		
<u>Valves, etc. including joints to steel pipes and/or fittings unless otherwise described</u>		
21	15mm Chromium plated full way ballcock shut-off control valve with screw type control	No 3
22	15mm Brass stopcock	No 28
<u>Cobra Watertech or equally approved</u>		
23	15mm Chromium sink mixer (Code 266/04/10)	No 1
24	Selene 953, pillartap	No 22

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Bill No. 13

Plumbing and Drainage (Provisional)

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

WATER SUPPLIES**Class 1 copper pipes with capillary couplings**

25	15mm Pipe fixed in and including chase in walls	m	184
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26	22mm Pipe fixed in and including chase in walls	m	61
----	---	---	----

Extra over copper pipes for capillary fittings

27	15mm Fittings	No	60
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28	22mm Fittings	No	22
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SUBSOIL DRAINAGE**uPVC pipes**

29	50mm Pipes fixed to walls, etc.	m	52
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30	110mm Pipes fixed to walls, etc.	m	19
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31	110mm Pipes laid in and including trenches not exceeding 1m deep	m	181
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Extra over uPVC pipes for fittings

32	50mm Bend	No	22
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33	50mm Access bend	No	6
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34	110mm Bend	No	25
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35	110mm Tee junction	No	11
----	--------------------	----	----

36	110 x 50 mm Reducing junction	No	6
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THE FOLLOWING IN SEPTIC TANK AND FRENCH DRAIN**Earthworks for Septic tank and Conservative drain**

37	Excavation in earth excavation n.e 2m	m3	1
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Section No. 2

Bill No. 13

Plumbing and Drainage (Provisional)

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

Fire appliances including piping, etc

51	4,5kg DCP dry powder portable fire extinguisher on and including wrought Meranti backboard size 520 x 100 x 22mm thick plugged and screwed to wall and finished with two coats of polyurethane varnish, including 120 x 20 x 2mm mild steel strip bent to form hook	No	7
52	Fire hose reel complete with 30m rubber hose, chromium plated stopcock, shut-off nozzle and wall bracket bolted to wall with and including expansion bolts	No	2

ELECTRIC WATER HEATERS

53	100 Litre horizontal wall mounted electric water heater	No	1
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TESTING

54	Testing soil drainage system		Item
55	Testing waste pipe system		Item
56	Testing water pipe system		Item

BUDGETARY ALLOWANCES

57	Water to supply fire appliances		Item	
58	Provide the sum of R 16 500.00 (Sixteen Thousand five hundred Rand) for the construction of a 3 x Plinths for the Water Tanks (elsewhere measured)		Item	16 500.00
59	Provide the sum of R 80 000.00 (Eighty Thousand Rand) for the construction of a Septic Tank and French Drain		Item	80 000.00

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Bill No. 13

Plumbing and Drainage (Provisional)

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

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Bill No. 13

Plumbing and Drainage (Provisional)

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Bill No. 13

Plumbing and Drainage (Provisional)

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

Item No		Quantity	Rate	Amount
	<u>SECTION No. 2BILL No. 15</u>			
	<u>GLAZING</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>GLAZING TO STEEL WITH PUTTY</u>			
	<u>6mm Clear float glass</u>			
1	<u>Panes</u> exceeding 0,1m ² and not exceeding 0,5m ²	m2	3	
2	Panes exceeding 0,5m ² and not exceeding 2m ²	m2	41	
	<u>6mm obscure glass</u>			
3	Panes exceeding 0,1m ² and not exceeding 0,5m ²	m2	6	
	<u>MIRRORS, SHELVES, ETC</u>			
	<u>6 mm Silvered float glass copper backed mirrors</u>			
4	600 x 450 x 6mm Thick SABS Approved mirror with building paper at back fixed against wall with four C.P. capped mirror screens in position as shown on detail layout	No	12	
	Carried Forward to Summary of Section No. 2			
	Section No. 2			
	Bill No. 14			
	Glazing			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			
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Item No		Quantity	Rate	Amount
	<u>SECTION No. 2BILL No. 16</u>			
	<u>PAINTWORK</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>ON FLOATED PLASTER</u>			
	<u>Prepare, stop and apply one coat alkali resistant primer, one coat universal undercoat and two full coats eggshell enamel paint</u>			
1	On internal plastered walls	m2	1 559	
2	On external plastered walls	m2	27	
	<u>ON PLASTER BOARD</u>			
	<u>One coat primer and two coats interior quality PVA emulsion paint</u>			
3	On ceilings and cornices	m2	651	
	<u>ON FIBRE CEMENT</u>			
	<u>One coat primer and two coats exterior quality PVA emulsion paint</u>			
4	On fascias and barge boards	m2	116	
	<u>ON METAL</u>			
	<u>One primer, one undercoat and two coats alkyd enamel paint on steel</u>			
5	On grille gates and screens (both sides measured on flat)	m2	21	
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	Paintwork			
	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

	<u>One coat undercoat and two coats polyurethane enamel. Sandpaper lightly between coats. Colour to be determined on site</u>		
6	On windows with burglar bars	m2	98
7	On door frames	m2	38
	<u>ON WOOD</u>		
	<u>One coat wood primer, one undercoat and two coats alkyd enamel paint</u>		
8	On doors	m2	83
	<u>Three coats polyurethane suede varnish</u>		
9	On skirtings, rails, etc. not exceeding 300mm girth	m	2
10	On doors	m2	24

Carried to Collection

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Section No. 2
Bill No. 15
Paintwork

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

Section No. 2

Bill No. 15

Paintwork

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Bill No. 15

Paintwork

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

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5	Carpentry	48	
6	Ceilings, partitions and Access Flooring	51	
7	Floor Coverings, Wall Linings, etc.	52	
8	Ironmongery	56	
9	Structural Steel work	59	
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Item No		Quantity	Rate	Amount
	<u>SECTION No. 3BILL No. 2</u>			
	<u>ROADS AND PARKING</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model Preambles For Trades"			
	<u>EXCAVATION, FILLING, ETC OTHER THAN BULK</u>			
	<u>Excavation</u>			
1	Open face excavation in earth to reduce levels	m3	602	
2	Extra over all excavations for carting away surplus material from excavations and/or from stockpiles on site to a dumping site to be located by the Contractor	m3	301	
3	Extra over open face excavations in earth for excavations in soft rock	m3	60	
4	Extra over open face excavations in earth for excavations in hard rock	m3	30	
5	Allow for keeping all excavations entirely free from water and mud		Item	
	<u>Filling, etc.</u>			
6	Earth filling from the excavations to make up levels around buildings compacted to 90% modified AASHTO density	m3	301	
7	Imported natural gravel material (minimum G5/6 material to TRH14) supplied by the Contractor and brought onto site from commercial sources in filling under paving, etc compacted in layers not exceeding 150mm thick to 90% modified AASHTO density	m3	622	
8	Base layer of imported natural gravel material (minimum G1 material to TRH14) supplied by the Contractor and brought onto site from commercial sources and compacted to 100% modified AASHTO density	m3	151	
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	COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &			

9	Compaction of ground surface under pavings, etc. including scarifying for a depth of 150mm, breaking down oversize material, adding suitable material where necessary and compact to 93% modified AASHTO density	m2	1 004	
10	50mm Thick clean, dry, riversand layer treated with an approved weed killer at the rate of 50 grams per square metre, spread and levelled to receive paving blocks (elsewhere)	m2	1 004	
<u>Tests</u>				
11	Tests to determine the degree of compaction, etc. of ground or filling	No	20	
<u>PRECAST CONCRETE</u>				
12	85mm Interlocking concrete paving blocks in accordance with SABS Specification 1058 and laid to falls on sand layer (elsewhere) with joints filled in with sand and vibrated, including all straight cutting	m2	1 004	
13	Mountable kerbing to SABS 927 Fig. 3 in 1m lengths with 10mm wide butt joints filled in with (1:3) cement/sand mortar and pointed with grooved half round joints and 10mm wide open butt joints at 3m centres including 15MPa/19mm mass concrete bedding size 30mm thick x 400mm wide and 20MPa/19mm mass concrete hunching size 112.5mm long x 112.5mm high x 85mm thick at joints and backfilling at back of kerbs, topsoiled and levelled to adjacent surfaces	m	140	
<u>ROAD MARKINGS</u>				
<u>Prepare and apply one coat white reflective road marking paint on precast concrete paving blocks, etc</u>				
14	100mm Wide line	m	60	
15	60mm Letter-STOP	No	8	
<u>BUDGETARY ALLOWANCES</u>				
16	Provide the sum of R 220 000-00 (Two hundred and Twenty thousand Rand) for Storm water Drainage		Item	220 000.00
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Bill No. 1

Roads and Parking

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Bill No. 1

Roads and Parking

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FOR DEPARTMENT OF COOPERATIVE GOVERNANCE HUMAN SETTLEMENTS &**

Item No	SECTION No. 3BILL No. 3	Quantity	Rate	Amount
	<u>FENCING AND GATES</u>			
	<u>PREAMBLES</u>			
	For Preambles see "Model of Preambles For Trades"			
	<u>Reinforced Precast concrete palisade fence, finished smooth on exposed surfaces, including site clearance and preparation of ground.</u>			
1	Palisade fence 3.0m high above ground level over flat terrain with 80mm tapering to 220mm x 3m long intermediate and end posts at centres cast into concrete bases, 145 x 80mm x 2m long top and bottom horizontal rails at intersections, including stopping off bolt holes with cement holes	m	300	
	<u>Gates</u>			
2	Galvanised mild steel sliding gate size 5,500mm wide x 3,000mm high overall comprising 2mm thick x 76mm wide x 50mm hollow section frame and running on 50 x 50 x 2mm thick angle section track embedded into and including 400mm wide x 600mm deep 25Mpa concrete ground beam and excavations for the same, filling, carting away of excess excavated material,etc	No	1	
3	Galvanised mild steel Pedestrian gate size 1,200 mm wide x 3,000mm high overall comprising 2mm thick x 76mm wide x 50mm hollow section frame and running on 50 x 50 x 2mm thick angle section track embedded into and including 400mm wide x 600mm deep 25Mpa concrete ground beam and excavations for the same, filling, carting away of excess excavated material,etc	No	1	
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Item No	<u>SECTION No. 4 BILL No. 1</u>	Unit	Quantity	Rate	Amount
	<u>PROVISIONAL SUMS</u>				
	<u>PREAMBLES</u>				
	For Preambles see "Model Preambles For Trades,2008"				
	<u>ELECTRICAL WORKS</u>				
1	Provide the sum of R 1,850 000.00 (One million Eight Hundred and Fifty Thousand Rand) for the supply and installation of Electrical Works.		Item		1 850 000.00
2	Add for profit upon above, if required.		Item		
3	Add for attendance		Item		
	<u>MECHANICAL WORKS</u>				
4	Provide an amount of R400,000.00(Four hundred thousand Rand) for the installation of Mechanical Works including Fire detectors		Item		400 000.00
5	Add for profit upon above, if required		Item		
6	Add for attendance		Item		
	<u>BORE HOLE</u>				
7	Provide the sum of R 200 000.00 (Two Hundred Thousand rand) for the drilling of a Bore Hole including equipping, supply and installation of a 5000 litre "Jojo" or equally approved Tank and a 6m "Jojo" or equally approved Steel Stand including pipe connection to the building and a pressure pump secured in a suitable steel cage complete.		Item		200 000.00
8	Add for profit upon above, if required.		Item		
9	Add for attendance		Item		
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GEOHYDROLOGICAL SURVEY

10	Provide the sum of R50 000.00(Fifty Thousand rand) for Geohydrological survey and the production of borehole reports.	Item	50 000.00
11	Add for profit upon above, if required	Item	
12	Add for attendance	Item	

JOINERY FITTINGS

13	Provide the sum of R 150 000-00 (One Hundred and Fifty thousand Rand) for the supply, delivery and installation of Joinery Fittings including Granite tops (Kitchen Unit, Fixed Benches, etc) complete.	Item	150 000.00
14	Add for profit upon above, if required.	Item	
15	Add for attendance	Item	

SIGNAGE

16	Provide the sum of R 30 000-00 (Thirty thousand rand) for supply and installation signage complete	Item	30 000.00
17	Add for profit upon above, if required.	Item	
18	Add for attendance	Item	

COMMUNITY LAISON OFFICER

19	Provide the sum of R 70 000-00 (Seventy thousand rand) for remuneration	Item	70 000.00
20	Add for profit upon above, if required.	Item	
21	Add for attendance	Item	

PROJECT STEERING COMMITTEE

22	Provide the sum of R 12 000-00 (Twelve thousand Rand) for remuneration	Item	12 000.00
23	Add for profit upon above, if required.	Item	
24	Add for attendance	Item	

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Section No. 4

Bill No. 1

Provisional Sums

**COMPLETION OF NEW BAKONE TRADITIONAL COUNCIL OFFICE
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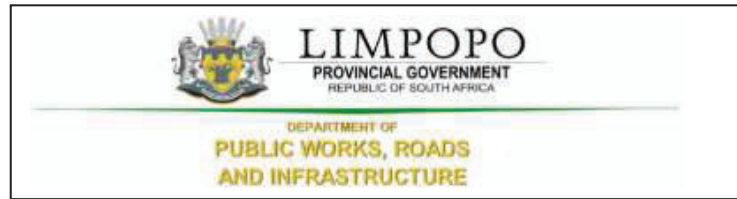
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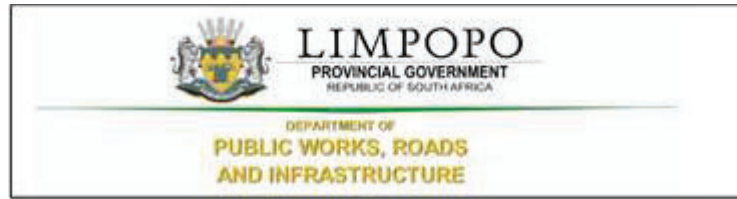
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	<u>Contingencies</u>		
	Allow an Amount of R 400 000.00 (Four hundred Thousand) for contingencies to be used as directed by the Project Manager and to be deducted in full if not used.	Item	400 000.00
	Sub-total		R
	<u>Value Added Tax</u>		
	Allow for Value Added Tax (15%)		R
	CARRIED TO FORM OF TENDER		R
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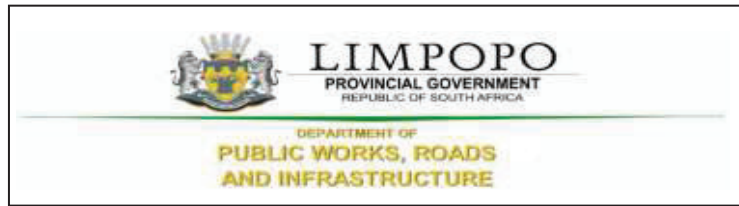
PART C3 SCOPE OF WORKS



PART C3.1: SPECIAL NOTES TO BIDDERS

The following special conditions are for compliance and attention to bidders:

- 1.1. LDPWR&I reserve the right to call interviews with short-listed bidders before final selection.
- 1.2. LDPWR&I reserve the right to conduct supplier due diligence prior to final award or at any time during the contract period. This may include surprise site visits.
- 1.3. LDPWR&I reserve the right to appoint the bidder that proves to be fully capable and qualified to handle and execute the job.
- 1.4. The proposals submitted must be in line with the detailed specification.
- 1.5. LDPWR&I reserve the right to cancel or withdraw this bid if:
 - i. Due to changed circumstances, there is no longer a need for this services; or
 - ii. Funds are no longer available to cover the total envisaged expenditure; or
 - iii. No acceptable bids are received; or
 - iv. There is a material irregularity in the Bid process.
- 1.6. In the case of sub-contracting or joint venture agreement, LDPWR&I will enter into a single contract with the principal bidder.
- 1.7. Bidders who are not registered on Central Supplier Database (CSD) must register before submission of bids.
- 1.8. Any completion of the bid document in pencil or erasable ink will not be acceptable and will automatically disqualify the submitted bid.
- 1.9. Successful bidder will be required to sign and enter into a formal contract upon the award.
- 1.10. Notwithstanding shortcomings and/or inconsistencies, if any, in this specification, which is only a minimum specification, a bidder shall make provision for a complete solution that will deliver the required service efficiently and cost-effectively.
- 1.11. Bid documents must be submitted physically to the closing address as reflected on the Request for Quotations.
- 1.12. Quotations received after the closing date and time will not be accepted for consideration.
- 1.13. This request for bid document contains confidential information about LDPWR&I, which has been provided to supply potential bidders with the data necessary to provide a holistic response.
- 1.14. No part of the contents may be used, copied, disclosed or conveyed in whole or in part to any party, in any manner whatsoever without the prior written permission of LDPWR&I.
- 1.15. Any reproduction or transmission of information contained in this document except for the sole purpose of responding to this bid is strictly prohibited.
- 1.16. References to LDPWR&I must not be made in any literature, promotional material, and brochures or sales presentations without the express written consent of LDPWR&I.



PART C3.2: OHS SPECIFICATIONS



public works

Department:
Public Works
REPUBLIC OF SOUTH AFRICA

OCCUPATIONAL HEALTH AND SAFETY

IN

**CONSTRUCTION PROJECTS, REPAIRS,
RENOVATIONS & MAINTENANCE**

MANAGED BY

**THE DEPARTMENT OF
PUBLIC WORKS**

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1. PREAMBLE

In terms of Construction Regulation 4(1)(a) of the Occupational Health and Safety Act, 1993 (Act 85 of 1993), and 5(1) construction regulation of 2014, the Department of Public Works, as the Client and/or its Agent on its behalf, shall be responsible to prepare Health & Safety Specifications for any intended construction project and provide any Principal Contractor who is making a bid or appointed to perform construction work for the Client and/or its Agent on its behalf with the same.

The Client's further duties are as described in The Act and the Regulations made thereunder. The Principal Contractor shall be responsible for the Health & Safety Policy for the site in terms of Section 7 of the Act and in line with Construction Regulation 5 as well as the Health and Safety Plan for the project.

This 'Health and Safety Specifications' document is governed by the "Occupational Health and Safety Act, 1993 (Act No. 85 of 1993), hereinafter referred to as 'The Act'. Notwithstanding this, cognizance should be taken of the fact that no single Act or its set of Regulations can be read in isolation. Furthermore, although the definition of Health and Safety Specifications stipulates 'a documented specification of all health and safety requirements pertaining to associated works on a construction site, so as to ensure the health and safety of persons', it is required that the entire scope of the Labour legislation, including the Basic Conditions of Employment Act be considered as part of the legal compliance system. With reference to this specification document this requirement is limited to all health, safety and environmental issues pertaining to the site of the project as referred to here-in. Despite the foregoing it is reiterated that environmental management shall receive due attention.

Due to the wide scope and definition of construction work, every construction activity and site will be different, and circumstances and conditions may change even on a daily basis. Therefore, due caution is to be taken by the Principal Contractor when drafting the Health and Safety Plan based on these Health and Safety Specifications. Prior to drafting the Health and Safety Plan, and in consideration of the information contained here-in, the contractor shall set up a Risk Assessment Program to identify and determine the scope

and details of any risk associated with any hazard at the construction site, in order to identify the steps needed to be taken to remove, reduce or control such hazard. *This Risk Assessment and the steps identified will be the basis or point of departure for the Health and Safety Plan.* The Health and Safety Plan shall include documented 'Methods of Statement' (see definitions under Construction Regulations) detailing the key activities to be performed in order to reduce as far as practicable, the hazards identified in the Risk Assessment.

The Department of Public Works is tasked to provide accommodation and operational facilities to a very large proportion of the approximate 35 National Departments responsible for the governance of the Department of Public Works. A very large number of State employees and public users of the facilities and the services provided there-in directly interacts with the facilities provided by the well-being, health and safety of a great number of people. This Department thus has directly or indirectly, an impact on the Republic of South Africa as well as the National Parliament.

In this a high premium is to be placed on the health and safety of the most valuable assets of the Department of Public Works. These are its personnel, the personnel of its Clients and the physical assets of which it is the custodian and may also include the public as well. The responsibilities the Department and relevant stakeholders have toward its employees and other people present in the facilities or on the sites are captured further in this specification document. These responsibilities stem from both moral, civil and a variety of legal obligations. The Principal Contractor is to take due cognisance of the above statement.

Every effort has been made to ensure that this specification document is accurate and adequate in all respects. Should it however, contain any errors or omissions they may not be considered as grounds for claims under the contract for additional reimbursement or extension of time, or relieve the Principal Contractor from his responsibilities and accountability in respect of the project to which this specification document pertains. Any such inaccuracies, inconsistencies and/or inadequacies must immediately be brought to the attention of the Agent and/or Client.

2. SCOPE OF HEALTH AND SAFETY SPECIFICATION DOCUMENT

These Specifications should be read in conjunction with the Act, the Construction Regulations and all other Regulations and Safety Standards which were or will be promulgated under the Act or incorporated into the Act and be in force or come into force during the effective duration of the project. The stipulations in this specification, as well as those contained in all other documentation pertaining to the project, including contract documentation and technical specifications shall not be interpreted, in any way whatsoever, to countermand or nullify any stipulation of the Act, Regulations and Safety Standards which are promulgated under, or incorporated into the Act.

3. PURPOSE

The Department is obligated to implement measures to ensure the health and safety of all people and properties affected under its custodianship or contractual commitments, and is further obligated to monitor that these measures are structured and applied according to the requirements of these Health and Safety Specifications.

The purpose of this specification document is to provide the relevant Principal Contractor (and his /her contractor) with any information other than the standard conditions pertaining to construction sites which might affect the health and safety of persons at work and the health and safety of persons in connection with the use of plant and machinery; and to protect persons other than persons at work against hazards to health and safety arising out of or in connection with the activities of persons at work during the carrying out of construction work for the Department of Public Works. The Principal Contractor (and his /her contractor) is to be briefed on the significant health and safety aspects of the project and to be provided with information and requirements on inter alia:

- a) Safety considerations affecting the site of the project and its environment;
- b) Health and safety aspects of the associated structures and equipment;
- c) submissions on health and safety matters required from the Principal Contractor (and his /her contractor); and
- d) the Principal Contractor's (and his /her contractor) health & safety plan.

To serve to ensure that the Principal Contractor (and his /her contractor) is fully aware of what is expected from him/her with regard to the Occupational Health and Safety Act, 1993 (Act No. 85 of 1993) and the Regulations made there-under including the applicable safety standards, and in particular in terms of Section 6,7 and 8 of the construction regulation (2014).

To inform the Principal Contractor that the Occupational Health and Safety Act, 1993 (Act 85 of 1993) in its entirety shall apply to the contract to which this specification document applies. The Construction Regulations promulgated on 07 February 2014.

4. DEFINITIONS - The most important definitions in the Act and Regulations pertaining to this specification document are hereby extracted.

“Purpose of the Act” – To provide for the health and safety of persons at work and the health and safety of persons in connection with the use of plant and machinery; the protection of persons other than persons at work against hazards to health and safety arising out of or in connection with the activities of persons at work; to establish an advisory council for occupational health and safety; and to provide for matters connected therewith.

“Health & Safety Specification” – means a document that includes information required under the construction regulation and obtained from the clients & designers during the early planning & design stage for a specific project on a specific site for use by the contractors when preparing their tenders or bids to clients.

“Health & Safety Plan” – means a document which is site specific and includes all identified hazards, safe work procedures to mitigate, reduce & control the hazards identified in a project.;

“Agent” – means any person who acts as a representative for a client;

“Client” – means any person for whom construction work is performed;

“ Construction Health & Safety Agent (SACPCMP)” – The person or entity appointed by the client through the Agent and who has a full authority and obligation to act on the clients behalf in terms of the construction regulations;

“Construction Work” is defined as any work in connection with –

- (a) the erection, maintenance, alteration, renovation, repair, demolition or dismantling of or addition to a building or any similar structure;
- (b) the installation, erection, dismantling or maintenance of a fixed plant where such work includes the risk of a person falling;
- (c) the construction, maintenance, demolition or dismantling of any bridge, dam, canal, road, railway, runway, sewer or water reticulation system or any similar civil engineering structure; or
- (d) the moving of earth, clearing of land, the making of an excavation, piling, or any similar type of work;

“Contractor” – means an employer, as defined in Section 1 of the Act, who performs construction work and includes Principal Contractors;

“Contract Amount” Financial value of the contract at the time of the award of the contract, exclusive of all allowance and any value added tax or sales tax which the law requires the employer to pay to the contractor.

“Practical Completion Certificates” A certificates issued in terms of a contract by the employer, signifying that the whole of the construction works have reached a state of readiness for occupation or use for the purposes intended, although some minor work may be outstanding.

“Accident” – means unplanned occurrence that happens due to the unsafe condition and may cause injury to a person, damage to the property, material, plant, equipment and the environment;

“Hazard” – means anything including work activities and practices with the potential to cause harm;

“Risk” – means the likelihood that harm will occur and the subsequent consequences.

“Risk assessment” – means a process to determine any risk associated with any hazard at a construction site in order to identify the steps needed to be taken to mitigate, reduce or control such hazards.

Health and Safety File” – means a file, or other record in permanent form, containing the information required a contemplated in the regulations;

5. OCCUPATIONAL HEALTH & SAFETY MANAGEMENT

5.1 Structure and Organization of OH&S Responsibilities

5.1.1. Overall Supervision and Responsibility for OH&S

- a) The Client and/or its Agent on its behalf to ensure that the Principal Contractor, appointed in terms of Construction Regulation 4(1)(c), implements and maintains the agreed and approved H&S Plan. Failure on the part of the Client or Agent to comply with this requirement will not relieve the Principal Contractor from any one or more of his/her duties under the Act and Regulations.
- b) The Chief Executive Officer of the Principal Contractor in terms of Section 16 (1) of the Act to ensure that the Employer (as defined in the Act) complies with the Act. The pro forma Legal Compliance Audit may be used for this purpose by the Principal Contractor or his/her appointed contractor.
- c) All OH&S Act (85 /1993), Section 16 (2) appointee/s as detailed in his/her/their respective appointment forms to regularly, in writing, report to their principals on matters of health and safety per routine and ad hoc inspections and on any deviations as soon as observed, regardless of whether the observation was made during any routine or ad hoc inspection and to ensure that the reports are made

available to the principal Contractor to become part of site records (Health & Safety File).

- d) The Construction Supervisor and Assistant Construction Supervisor/s appointed in terms of Construction Regulation 6 to regularly, in writing, report to their principals on matters of health and safety per routine and ad hoc inspections and on any deviations as soon as observed, regardless of whether the observation was made during any routine or ad hoc inspection and to ensure that the reports are made available to the principal Contractor to become part of site records (Health & Safety File).
- e) All Health and Safety Representatives (SHE-Reps) shall act and report as per Section 18 of the Act.

5.12 Required appointments as per the Construction Regulations:-

Item	Regulation	Appointment	Responsible Person
1.	3.	Application Construction work permit	Client
2.	5(1)(k)	Principal contractor for each phase or project	Client
3.	5(6)	Construction Health & Safety Agent	Client
4.	7.(1)(c)	Contractor	Principal Contractor
5.	7(3)	Contractor	Contractor
6.	8(1)	Construction manager	Contractor
7.	8(2)	Assistance Construction manager	Contractor
8.	6(1)	Construction supervisor	Contractor
9.	6(2)	Construction supervisor sub-ordinates	Contractor
10.	8(5)	Construction Safety Officer	Contractor
11.	8(8)	Responsible employee	
12.	9(1)	Person to carry out risk assessment	Contractor
13.	10(1)	Fall protection planner	Contractor
14.	12(1)	Temporal work designer	
15.	12(2)	Supervisor of temporal work operation	
16.	13(1)	Excavation supervisor	Contractor
17.	13(2)(k)	Competent person in the use of explosive for excavations	Contractor
18.	14(11)	Explosives expert	Contractor
19.	14(1)	Supervisor demolition work	Contractor
20.	14(2)	Scaffold supervisor	Contractor
21.	16(1)	Suspended platform supervisor	Contractor
22.	18(1)a	Rope access	Contractor
23.	19(8)(a)	Material hoist inspector	Contractor
24.	20(1)	Bulk mixing plant supervisor	Contractor
25.	21(2)	Explosive actuated fastening device inspector	Contractor
26.	21(2)(g)	Explosive actuated fastening device cartridge, nails and studs: issuer & collector	Contractor
27.	23 (1)	Operator : construction vehicle and mobile plant	Contractor
28.	28 (a)	Stacking and storage supervisor	Contractor
29.	29 (h)	Fire equipment inspector	Contractor

5.2 Communication, Participation & Consultation

- 5.2.1 Occupational Health & Safety matters/issues shall be communicated between the Employer, the Principal Contractor, the other Contractors, the Designer and other concerned parties shall be through the H&S Committee or other means determined by the client.
- 5.2.2 In addition to the above, communication may be directly to the Client or his appointed Agent, verbally or in writing, as and when the need arises.
- 5.2.3 Consultation with the workforce on OH&S matters will be through their Supervisors and H&S Representatives ('SHE – Reps')
- 5.2.4 The Principal Contractor will be responsible for the dissemination of all relevant OH&S information to the other Contractors e.g. design changes agreed with the Client and/or its Agent on its behalf and the Designer, instructions by the Client and/or his/her agent, exchange of information between Contractors, the reporting of hazardous/dangerous conditions/situations etc.

6. INTERPRETATION

- a) The Occupational Health and Safety Act and all its Regulations, with the exception of the Construction Regulations, distinguish between the roles, responsibilities and functions of employers and employees respectively. It views consultants and contractors as employees of the "owner" of a construction or operational project, the "owner" being regarded as the employer.
- b) (The position taken by the Construction Regulations is that the "owner", in terms of its instructions, operates (has to operate) in the role of client as per relevant definition. The contractors working for the "client" are seen to be in two categories, i.e. the Principal Contractor and Contractors.

- c) The Principal Contractor has to take full responsibility for the health and safety on the site of the relevant project / contract. This includes monitoring health and safety conditions and overseeing administrative measures required by the Construction Regulations from all contractors on the project site.

7. RESPONSIBILITIES

7.1 Client

- a) The Client or his appointed Agent on his behalf will appoint each Principal Contractor for this project or phase/section of the project in writing for assuming the role of Principal Contractor as intended by the Construction Regulations.
- b) The Client or his appointed Agent on his behalf shall discuss and negotiate with the Principal Contractor the contents of the health and safety plan of the both Principal Contractor and Contractor for approval.
- c) The Client or his appointed Agent on his behalf will take reasonable steps to ensure that the health and safety plan of both the Principal Contractor and Contractor is implemented and maintained. The steps taken will include periodic audits at intervals of at least once every month.
- d) The Client or his appointed Agent on his behalf, will prevent the Principal Contractor and/or the Contractor from commencing or continuing with construction work should the Principal Contractor and/or the Contractor at any stage in the execution of the works be found to:
- have failed to have complied with any of the administrative measures required by the Construction Regulations in preparation for the construction project or any physical preparations necessary in terms of the Act;
 - have failed to implement or maintain their health and safety plan;
 - have executed construction work which is not in accordance with their health and safety plan; or

- act in any way which may pose a threat to the health and safety of any person(s) present on the site of the works or in its vicinity, irrespective of him/them being employed or legitimately on the site of the works or in its vicinity.

7.2 **Principal Contractor**

- a) The Principal Contractor shall accept the appointment under the terms and Conditions of Contract. The Principal Contractor shall sign and agree to those terms and conditions and shall, before commencing work, notify the Department of Labour of the intended construction. Annexure 2 of this construction regulation contains a “Notification of Construction Work” form. The Principal Contractor shall submit the notification in writing prior to commencement of work and inform the Client or his Agent accordingly.
- b) The Principal Contractor shall ensure that he is fully conversant with the requirements of this Specification and all relevant health and safety legislation.
- c) The Principal Contractor will in no manner or means be absolved from the responsibility to comply with all applicable sections of the Act, the Construction Regulations or any Regulations proclaimed under the Act or which may perceivable be applicable to this contract.
- d) The Principal Contractor shall provide and demonstrate to the Client a suitable and sufficiently documented health and safety plan based on this Specification, the Act and the Construction Regulations, which shall be applied from the date of commencement of and for the duration of execution of the works. This plan shall, as appendices, include the health and safety plans of all Sub-contractors for which he has to take responsibility in terms of this contract.
- e) The Principal Contractor shall provide proof of his registration and good standing with the Compensation Fund or with a licensed compensation insurer prior to commencement with the works.
- f) The Potential Principal Contractor shall, in submitting his tender, demonstrate that he has made provision for the cost of compliance with the specified health and safety

requirements, the Act and Construction Regulations. (Note: This shall have to be contained in the conditions of tender upon which a tenderer's offer is based.)

- g) The Principal Contractor shall consistently demonstrate his competence and the adequacy of his resources to perform the duties imposed on the Principal Contractor in terms of this Specification, the Act and the Construction Regulations.
- h) The Principal Contractor shall ensure that a copy of his health and safety plan is available on site and is presented upon request to the Client, an Inspector, Employee or Sub-contractor.
- i) The Principal Contractor shall ensure that a health and safety file, which shall include all documentation required in terms of the provisions of this Specification, the Act and the Construction Regulations, is opened and kept on site and made available to the Client or Inspector upon request. Upon completion of the works, the Principal Contractor shall hand over a consolidated health and safety file to the Client.
- j) The Principal Contractor shall, throughout execution of the contract, ensure that all conditions imposed on his Sub-contractors in terms of the Act and the Construction Regulations are complied with as if they were the Principal Contractor.
- k) The Principal Contractor shall from time to time evaluate the relevance of the Health and Safety Plan and revise the same as required, following which revised plan shall be submitted to the Client and/or his/her Agent for approval.

7.3 Contractor

The contractor must demonstrate to the Principal Contractor that he has the Necessary competencies and resources to perform the construction work safely.

7.4 Responsibilities of Construction Health & Safety Agent (SACPCMP)

The construction Health & Safety Agent act as a link between the client, Principal Contractor and the project team members with respect to health & Safety, They are Required to ensure that the client carry out its H&S responsibilities in terms of

Legislation as well as to co-ordinate and ensure good H&S practices are maintained Throughout the duration of the project. In many cases this role starts from project Initiation to project close-out.

- a) **H&S competence:** In the event that the client is unable to satisfy the requirements of the Construction Regulations for whatever reasons, the construction H&S agent may be appointed to perform these functions on behalf of the client. Given the need to appoint a registered construction H&S agent that is competent and adequately resourced with respect to H&S matters.
- b) **H&S goals:** It is important that the construction H&S agents demonstrate clearly to clients how they are going to contribute to the achievement of any client H&S goals and objectives. They should also set their own H&S goals.
- c) **H&S responsibilities:** Prior to accepting the H&S agent appointment from clients, H&S agents need to ensure that they brief clients fully on the client's particular responsibilities in terms of the OH&SA of 1993 and Construction Regulations as amended from time to time. In the absence of acceptance by clients of these responsibilities, H&S agents will not be able to adequately meet their own H&S responsibilities and duties.
- d) **H&S information:** H&S agents must provide the designer or design team with all H&S information to enable them to conduct a design HIRA to identify the significant hazards that need to be included in the H&S specification. This information may be gathered from multiple sources such as, for example, discussion with the client, previous historical use of the site or facility, previous surveys and investigations and past H&S files.

8. SCOPE OF WORK

These specifications are applicable to the specific scope of work pertaining to the above-mentioned project as detailed in the tender documents, this amongst all includes for example:

- a) Construction, erecting, alteration, renovations, refurbishment, repairs, demolishing or dismantling of building and structures.
 - Site clearance
 - Site hoarding, demarcation and demolition works
 - excavations, filling, compaction, evening surface

- Piling (by drilling, excavating,)
 - Temporal works
- b) Construction, erecting, alteration, renovations, refurbishment, repairs, demolishing or dismantling of any bridge, dam, canal, road, railway, runaway, sewer, or water reticulation system or any civil engineering structure or type of work
- c) Construction of a new two storied Administration building.
- Preparation of site by leveling, compaction etc.
 - Excavations for parking areas/services

9. PREPARING A HEALTH & SAFETY PLAN

- (a) The level of detail required for a H&S plan will depend on how complex the workplace is (in particular, the number of contractors at the workplace at any one time) and the risks involved in the work. The plan must be easily accessible in a construction site and it must be clearly understood by management, supervisors & workers on construction site.
- (b) The plan must be implemented, maintained and kept up to date during the construction of the project.
- (c) The principal contractor should prepare a H&S plan that includes
- project information;
 - client requirements for H&S management on the project;
 - Environmental restrictions and existing on-site risks arrangements, imposed by others or developed by the principal contractor, to control significant site H&S risks; H&S file & project H&S review.
- (d) The H&S plan should include the following information:
- details of the client, that is the person commissioning the construction work, for example their name, representative and contact details;
 - details of the principal contractor;
 - details of the construction project, for example address of the workplace, anticipated start and end date and a brief description of the type of construction work that the H&S plan will cover;
 - details on how subcontractors will be managed and monitored, including how the principal contractor intends to implement and ensure compliance with the H&S plan such as checking on the performance of subcontractors and how non-compliance will be handled; and

- details on how the risks associated with falls, falling objects, moving plant, electrical work and all high risk construction work that will take place on a construction project will be managed.

(e) The H&S plan should also include information on:

- the provision and maintenance of a hazardous chemicals register, safety data sheets and hazardous chemicals storage;
- the safe use and storage of plant;
- the development of a construction project traffic management plan;
- obtaining and providing essential services information – electrical, gas, telecom, water and similar services;
- workplace security and public safety; and
- ensuring workers have appropriate licences and training to undertake the construction work.

(f) The H&S plan must contain:

- a general description of the type of work activities involved in the project and not just a description of the facility to be constructed;
- the project program or schedule details, including start and finish dates, showing principal activities;
- details of client, design team, principal contractor, subcontractors, and major suppliers; and
- extent and location of relevant existing records, surveys, site investigation and geotechnical reports, 'as-built' plans, H&S files.

10. HEALTH AND SAFETY FILE

- a) The H&S file is a document prepared by the principal contractor containing important project H&S information for use by the owner of the completed structure after construction has been completed.
- b) The principal contractor is responsible for producing an H&S file. It contains important project H&S information for use by the owner of the completed structure after construction has been completed. It is essential that the process of compiling the file commences as early as possible to ensure sufficient time to gather the required information.
- c) The Principal Contractor must, in terms of Construction Regulation 7(7), keep a Health & Safety File on site at all times that must include all documentation required in terms of the Act and Regulations and must also include a list of all Contractors on site that are accountable to the Principal Contractor and the agreements between

the parties and details of work being done. A more detailed list of documents and other legal requirements that must be kept in the Health & Safety File.

- d) The contractor must ensure that the client's format and layout of the H&S file is adhered to. The contractor must identify the responsible person that will prepare the H&S file and who will be responsible for the drafting of as-built drawings. The contractor must establish procedures:
- e) The Health and Safety File will remain the property of the Client and/or its Agent on its behalf throughout the period of the project and shall be consolidated and handed over to the Client and/or its Agent on its behalf at the time of completion of the project.

11. OH&S GOALS AND OBJECTIVES AND ARRANGEMENTS FOR MONITORING AND REVIEWING OH&S PERFORMANCE

The Principal Contractor is required to maintain an acceptable disabling incident frequency rate (DIFR) and report on this to the Client and/or its Agent on its behalf on a monthly basis.

11.1 IDENTIFICATION OF HAZARDS AND DEVELOPMENT OF RISK ASSESSMENTS, STANDARD WORKING PROCEDURES (SWP) AND METHOD STATEMENTS

The Principal Contractor is required to develop Risk Assessments, Standard Working Procedures (SWP) and Method Statements for each activity executed in the contract or project.

The identification of hazards is over and above the hazards identification programme and those hazards identified during the drafting of the Health and Safety Plan.

11.1.1 Monthly Audit by Client and/or its Agent.

The Client and/or its Agent on its behalf will be conducting Periodic Audits at times agreed with the Principal Contractor Audit to comply with Construction Regulation

4(1)(d) to ensure that the principal Contractor has implemented, is adhering to and is maintaining the agreed and approved OH&S Plan.

- a) A representative of the Principal Contractor and the relevant Health and Safety Representative(s) (SHE-Reps) must accompany the Client and/or its Agent on its behalf on all Audits and Inspections and may conduct their own audit/inspection at the same time. Each party will, however, take responsibility for the results of his/her own audit/inspection results. The Client and/or its Agent on its behalf may require to be handed a copy of the minutes of the previous Health and Safety Committee meeting reflecting possible recommendations made by that committee to the Employer for reference purposes.

11.1.2 Health & Safety incident/accident reporting & investigations

- a) The Principal Contractor shall report all incidents where an employee is injured on duty to the extent that he/she:
 - i. dies
 - ii. becomes unconscious
 - iii. loses a limb or part of a limb
 - iv. is injured or becomes ill to such a degree that he/she is likely either to die or to suffer a permanent physical defect or likely to be unable for a period of at least 14 days either to work or continue with the activity for which he/she was usually employed

OR where:

- i. a major incident occurred
- ii. the health or safety of any person was endangered
- iii. where a dangerous substance was spilled
- iv. the uncontrolled release of any substance under pressure took place
- v. machinery or any part of machinery fractured or failed resulting in flying, falling or uncontrolled moving objects

- vi. Machinery ran out of control, to the Provincial Director of the Department of Labour within seven days and at the same time to the Client and/or its Agent on its behalf.

- b) The Principal Contractor is required to provide the Client and/or its Agent on its behalf with copies of all statutory reports required in terms of the Act and the Regulations.

- c) The Principal Contractor is required to provide the Client and/or its Agent on its behalf with a monthly “SHE Risk Management Report”.

- d) The Principal Contractor is required to provide a.s.a.p. the Client and/or its Agent on its behalf with copies of all internal and external accident/incident investigation reports.
The Principal Contractor is responsible to oversee the investigation of all accidents/incidents where employees and non-employees were injured to the extent that he/she/they had to receive first aid or be referred for medical treatment by a doctor, hospital or clinic. (General Administrative Regulation 9)

- e) The results of the investigation to be entered into the Accident/Incident Register listed above. (General Administrative Regulation 9)

- f) The Principal Contractor is responsible for the investigation of all non-injury incidents as described in Section 24 (1) (b) & (c) of the Act and keeping a record of the results of such investigations including the steps taken to prevent similar incidents in future.

- g) The Principal Contractor is responsible for the investigation of all accidents relating to the construction site and keeping a record of the results of such investigations including the steps taken to prevent similar accidents in future.

- h) Notwithstanding the requirements of Section 24 of the Act, ALL incidents shall be investigated and reported on in writing, irrespective of whether such incident gave rise to injury or damage.

- Determine the underlying H&S deficiencies and other contributory factors
- Identification of corrective/preventative actions and continual improvement
- Communicating the outcome/results and documenting the events of the investigation.

(i) **Reporting Of Near-Misses**

- Department of Public Works views the reporting of near misses as a critical component in creating a positive health and safety awareness culture on site.
- Department of Public Works retains the right to enforce the reporting of near misses within 24 hours of occurrence.

12. Review

The Principal Contractor is to review the Hazard Identification, Risk Assessments and Standard Work Processes at each Production Planning and Progress Report meeting as the construction work develops and progresses and each time changes are made to the designs, plans and construction methods and processes.

The Principal Contractor must provide the Client and/or its Agent on its behalf, other Contractors and all other concerned parties with copies of any changes, alterations or amendments as contemplated in the above paragraph.

12.1 Site Rules and other Restrictions

a) Site OH&S Rules

The Principal Contractor must develop a set of site-specific OH&S rules that will be applied to regulate the Health and Safety Plan and associated aspects of the construction. When required for a site by law, visitors and non-employees upon entering the site shall be issued with the proper Personal Protective Equipment (PPE) as and when necessary.

b) Security Arrangements

The Principal Contractor must establish site access rules and implement and maintain these throughout the construction period. Access control must include the rule that non-employees shall at all times be provided with fulltime supervision while on site. The Principal Contractor must develop a set of Security rules and procedures and maintain these throughout the construction period.

If not already tasked to the H&S Officer appointed in terms of Construction Regulation, the Principal Contractor must appoint a competent person who must develop contingency plans for any emergency that may arise on site as indicated by the risk assessments.

12.1.1 Appointment of Health & Safety Representatives

a) H&S Representatives('SHE – Reps')

Where the Principal Contractor employs more than 20 persons (including the employees of other Contractors (sub-contractors) he has to appoint one H&S Representatives for every 50 employees or part thereof. (Section 17 of the Act and General Administrative Regulation 6. & 7.)

H&S Representatives must be appointed in writing and the designation shall be in accordance with the Collective Agreement as concluded between the parties as is required in terms of General Administration Regulation 6.

12.1.2 Duties and Functions of the H&S Representatives

- The Principal Contractor must ensure that the designated H&S Representatives conduct at least a weekly inspection of their respective areas of responsibility using a checklist developed by a Principal Contractor.
- The report must be consolidated and submitted to the Health & Safety Committee.
- H&S Representatives must form part of the incident/accident investigating team.

12.1.3 Establishment of H&S Committee(s)

- The Principal Contractor must establish H&S Committees consisting of designated H&S Representatives together with a number of Employers Representatives appointed as per Section 19(3) that are not allowed to exceed the number of H&S Representatives on the committee.
- The persons nominated by the employer on a H&S Committee must be designated in writing for such period as may be determined by him. The H&S Committee shall co-opt advisory (temporary) members and determine the procedures of the meetings including the chairmanship.
- The H&S Committee must meet minimum monthly and consider, at least, an agreed Agenda for the first meeting. Thereafter the H&S Committee shall determine its own procedures.

12.1.4 Training & Awareness

The contents and syllabi of all training required by the Act and Regulations including any other related or relevant training as required must be included in the Principal Contractor's Health and Safety Plan and Health and Safety File.

a) *Training & Induction*

All employees performing work or task on site that potentially impact on H&S must be competent & have the necessary appropriate education, training & experience.

All the training must be closely aligned with the risk profile of the project; procedures must be put in place to ensure that all workers are aware of the consequences of their work activities & benefits of improved H&S performance.

All employees of the Principal and other Contractors must be in possession of proof of General Induction training

b) *Site Specific Induction Training*

All employees of the Principal and other Contractors must be in possession of Site Specific Occupational Health and Safety Induction or other qualifying training.

c) *Other Training*

All operators, drivers and users of construction vehicles, mobile plant and other equipment must be in possession of valid proof of training.

13. PROJECT/SITE SPECIFIC REQUIREMENTS

The following is a list of specific activities and considerations that have been identified for the project and site and for which Risk Assessments, Standard Working Procedures (SWP), management and control measures and Method Statements (where necessary) have to be developed by the Principal Contractor:

- a) Clearing & grabbling the area/site
- b) Site establishment
- c) Dealing with existing structures
- d) Location of existing services
- e) Boundary & Access control/Public liability exposures
- f) Protection against heat exhaustion, dehydration, wet & cold conditions
- g) Dealing with HIV & aids other related diseases
- h) Use of portable electrical & explosive tools
- i) Any Excavation work
- j) Any welding work
- k) Loading & offloading of trucks
- l) Driving & operations of Construction vehicles & mobile plant
- m) Temporal works and
- n) Construction work as defined in the construction regulation 2014

14. OUTLINED DATA, REFERENCES AND INFORMATION ON CERTAIN AND/OR SPECIFIC OBLIGATORY REQUIREMENTS TO ENSURE COMPLIANCE

Administrative & Legal Requirements

OHS Act Section/ Regulation	Subject	Requirements
Construction. Regulation	Notice of carrying out Construction work	<ul style="list-style-type: none"> Department of Labour notified Copy of Notice available on Site
General Admin. Regulation 4	Copy of OH&S Act (Act 85 of 1993)	<ul style="list-style-type: none"> Updated copy of Act & Regulations on site. Readily available for perusal by employees.
COID Act Section 80	Registration with Compensation Insurer.	<ul style="list-style-type: none"> Written proof of registration/Letter of good standing available on Site
Construction. Regulation 4 & 5(1)	H&S Specification & Programme	<ul style="list-style-type: none"> H&S Spec received from Client and/or its Agent on its behalf OH&S programme developed & Updated regularly
Section 8(2)(d) Construction. Regulation 7	Hazard Identification & Risk Assessment	<ul style="list-style-type: none"> Hazard Identification carried out/Recorded Risk Assessment and – Plan drawn up/Updated RA Plan available on Site Employees/Sub-Contractors informed/trained
Section 16(2)	Assigned duties (Managers)	<ul style="list-style-type: none"> Responsibility of complying with the OH&S Act assigned to other person/s by CEO.
Construction. Regulation 6(1)	Designation of Person Responsible on Site	<ul style="list-style-type: none"> Competent person appointed in writing as Construction Supervisor with job description
Construction. Regulation 6(2)	Designation of Assistant for above	<ul style="list-style-type: none"> Competent person appointed in writing as Assistant Construction Supervisor with job description
Section 17 & 18 General Administrative Regulations 6 & 7	Designation of Health & Safety Representatives	<ul style="list-style-type: none"> More than 20 employees - one H&S Representative, one additional H&S Rep. for each 50 employees or part thereof. Designation in writing, period and area of responsibility specified in terms of GAR 6 & 7 Meaningful H&S Rep. reports. Reports actioned by Management.

Rev H&S Spec Guideline Oct 2015

Section 19 & 20 General Administrative Regulations 5	Health & Safety Committee/s	<ul style="list-style-type: none"> • H&S Committee/s established. • All H&S Reps shall be members of H&S Committees • Additional members are appointed in writing. • Meetings held monthly, Minutes kept. • Actioned by Management.
Section 37(1) & (2)	Agreement with Mandatories/ (Sub-)Contractors	<ul style="list-style-type: none"> • Written agreement with (Sub-)Contractors • List of SubContractors displayed. • Proof of Registration with Compensation Insurer/Letter of Good Standing • Construction Supervisor designated • Written arrangements re. • H&S Reps & H&S Committee • Written arrangements re. First Aid
Section 24 & General Admin. Regulation 8 COID Act Sect.38, 39 & 41	Reporting of Incidents (Dept. of Labour)	<ul style="list-style-type: none"> • Incident Reporting Procedure displayed. • All incidents in terms of Sect. 24 reported to the Provincial Director, Department of Labour, within 3 days. (Annexure 1)(WCL 1 or 2) and to the Client and/or its Agent on its behalf • Cases of Occupational Disease Reported • Copies of Reports available on Site • Record of First Aid injuries kept
General Admin. Regulation 9	Investigation and Recording of Incidents	<ul style="list-style-type: none"> • All injuries which resulted in the person receiving medical treatment other than first aid, recorded and investigated by investigator designated in writing. • Copies of Reports (Annexure 1) available on Site • Tabled at H&S Committee meeting • Action taken by Site Management.
Construction. Regulation 8	Fall Prevention & Protection	<ul style="list-style-type: none"> • Competent person appointed to draw up the Fall Protection Plan • Proof of appointees competence available on Site • Risk Assessment carried out for work at heights • Fall Protection Plan drawn up/updated • Available on Site
Construction. Regulation Driven Machinery Regulations 18 & 19	Cranes & Lifting Machines Equipment	<ul style="list-style-type: none"> • Competent person appointed in writing to inspect Cranes, Lifting Machines & Equipment • Written Proof of Competence of above appointee available on Site. • Cranes & Lifting tackle identified/numbered

		<ul style="list-style-type: none"> • Register kept for Lifting Tackle • Log Book kept for each individual Crane • Inspection: - All cranes - daily by operator <ul style="list-style-type: none"> - Tower Crane/s - after erection/6monthly - Other cranes - annually by comp. person • - Lifting tackle(slings/ropes/chain slings etc.) - daily or before every new application
General Safety Regulation 8(1)(a)	Designation of Stacking & Storage Supervisor.	<ul style="list-style-type: none"> • Competent Person/s with specific knowledge and experience designated to supervise all Stacking & Storage • Written Proof of Competence of above appointee available on Site
Construction. Regulation Environmental Regulation 9	Designation of a Person to Co-ordinate Emergency Planning And Fire Protection	<ul style="list-style-type: none"> • Person/s with specific knowledge and experience designated to co-ordinate emergency contingency planning and execution and fire prevention measures • Emergency Evacuation Plan developed: • Drilled/Practiced • Plan & Records of Drills/Practices available on Site • Fire Risk Assessment carried out • All Fire Extinguishing Equipment identified and on register. • Inspected weekly. Inspection Register kept • Serviced annually
General Safety Regulation 3	First Aid	<ul style="list-style-type: none"> • Every workplace provided with sufficient number of First Aid boxes. (Required where 5 persons or more are employed) • First Aid freely available • Equipment as per the list in the OH&S Act. • One qualified First Aider appointed for every 50 employees. (Required where more than 10 persons are employed) • List of First Aid Officials and Certificates • Name of person/s in charge of First Aid box/es displayed. • Location of First Aid box/es clearly indicated. • Signs instructing employees to report all • Injuries/illness including first aid injuries
General Safety Regulation 2	Personal Safety Equipment (PSE)	<ul style="list-style-type: none"> • PSE Risk Assessment carried out • Items of PSE prescribed/use enforced

		<ul style="list-style-type: none"> • Records of Issue kept • Undertaking by Employee to use/wear PSE • PSE remain property of Employer, not to be removed from premises GSR 2(4)
General Safety Regulation 9	Inspection & Use of Welding/Flame Cutting Equipment	<ul style="list-style-type: none"> • Competent Person/s with specific knowledge and experience designated to Inspect Electric Arc, Gas Welding and Flame Cutting Equipment • Written Proof of Competence of above appointee available on Site • All new vessels checked for leaks, leaking vessels NOT taken into stock but returned to supplier immediately • Equipment identified/numbered and entered into a register • Equipment inspected weekly. Inspection Register kept • Separate, purpose made storage available for full and empty vessels
General Safety Regulation 13A	Inspection of Ladders	<ul style="list-style-type: none"> • Competent person appointed in writing to inspect Ladders • Ladders inspected at arrival on site and weekly thereafter. Inspections register kept • Application of the types of ladders (wooden, aluminium etc.) regulated by training and inspections and noted in register
General Safety regulation 13B	Ramps	<ul style="list-style-type: none"> • Competent person appointed in writing to supervise the erection & inspection of Ramps. Inspection register kept. • Daily inspected and noted in register

15. THE PRINCIPAL CONTRACTOR'S GENERAL DUTIES

- The Principal Contractor shall at all times ensure his status of an “employer” as referred to in the Act, and will abide by his/her responsibilities, duties and functions as per the requirements of the Act and Regulations with specific reference to Section 8 of the Act.
- The Principal Contractor shall keep, and on demand make available, a copy of the Act on site at all times and in addition to that he/she will introduce and maintain a file titled “Health and Safety File”, or other record in permanent form, which shall contain all relevant aspects and information as contemplated in the Construction Regulations. He/she will make this file available to the client or his representative whenever necessary or on request to an interested party.
- The project under control of the Principal Contractor shall be subject to periodic health and safety audits that will be conducted by the client at intervals agreed upon between the Principal Contractor and the client, provided such intervals will not exceed periods of one month.
- The Principal Contractor is to ensure that he/she and all persons under his control on the construction site shall adhere to the above specifications.
- The Principal Contractor should note that he/she shall be held liable for any anomalies including costs and resulting deficiencies due to delays caused by non-conformance and/or non-compliance to the above Health and Safety Specifications and the Health and Safety Plan based on these specifications.

16. THE PRINCIPAL CONTRACTOR'S SPECIFIC DUTIES

The Principal Contractor's specific duties in terms of these specifications are detailed in the Construction Regulations as published under government notice 07 August 2014, stipulated in Section 7.

17. THE PRINCIPAL CONTRACTOR'S SPECIFIC RESPONSIBILITIES WITH REGARD TO HAZARDOUS ACTIVITIES

The following examples of activities are identifiable as hazardous in terms of the Construction Regulations. The contractor shall execute the activities in accordance with the following Construction Regulations and other applicable regulations of the Act:

- Fall protection
- Structures
- Excavation work
- Demolition work
- Scaffolding
- Construction vehicles & mobile plant.
- Water environments
- Housekeeping on construction sites
- Fire precautions on construction sites.

This list must not be taken to be exclusive or exhaustive! All of the above requirements will be read in conjunction with the relevant regulations and health and safety standards as required by the Act. All documents and records required by the Construction Regulations will be kept in the Health and Safety File and will be made available at any time when required by the client or his representative, or on request to an interested party.

18. GENERAL NOTES TO THE PRINCIPAL CONTRACTOR

Legal Framework

Part of legal obligations

The more important Acts and relevant subordinate/secondary legislation as well as other (inter alia Local Government) legislation that also apply to the State as well as to State owned buildings and premises: -

- a. The latest issue of SABS 0142: "Code of Practice for the Wiring of Premises"
- b. The Local Government Ordinance 1939 (Ordinance 17 of 1939) as amended and the municipal by-laws and any special requirements of the local supply authority
- c. The Fire Brigade Services Act 1987, Act 99 of 1987 as amended
- d. The National Building Regulations and Building Standards Act 1977 (Act 103 of 1977) as amended and relevant proclaimed Regulations (SABS 0400)
- e. The Post Office Act 1958 (Act 44 of 1958) as amended
- f. The Electricity Act 1984, Act 41 of 1984
- g. The Regulations of Local Gas Board(s), including Publications of the SABS Standards and Codes of Practice, with specific reference to GNR 17468 dated 4th October 1997
- h. Legislation pertaining to water usage and the environment
- i. Legislation governing the use of equipment, which may emit radiation (e.g. X-Rays etc.)
- j. Common Law

19. HOUSE KEEPING

Good housekeeping will be maintained at all times as per Construction Regulation No. 25. Poor housekeeping contributes to three major problems, namely, costly or increased accidents, fire or fire hazards and reduction in production. Good housekeeping will enhance production time.

In promotion of environmental control all waste, rubble, scrap etc, will be disposed of at a registered dump site and records will be maintained. Where it is found to be impractical to use a registered dump site or it is not available, the Principal Contractor will ensure that the matter is brought to record with the client or his representative, after which suitable, acceptable alternatives will be sought and applied.

Dross and refuse from metals, and waste matters or by-products whose nature is such that they are poisonous or capable of fermentation, putrefaction or constituting a nuisance shall be treated or disposed of by methods approved of by an inspector.

NOTE: No employer (Principal Contractor) shall require or permit any person to work at night or after hours unless there is adequate, suitable artificial lighting including support services in respect of Health and Safety.

a) Facilities

The site establishment plan shall make provision for:

b) Dining room facilities

The contractor shall make provision for adequate dining room facilities for his employees on site.

c) Change rooms

The contractor shall make provision for adequate change rooms for his employees on site.

d) Ablution facilities

The contractor shall make provision for adequate ablution facilities for his employees on site.

These facilities shall be maintained by the contractor.

e) Smoking Areas

Designated smoking areas shall be established by Department of Public Works.

f) Drinking Water Facilities

The provision of drinking water facilities shall be negotiated between the Contractor and Department of Public Works.

g) Equipment Compliance Certificates

Before equipment is brought on site valid certificates of compliance issued by a competent person shall be presented. The equipment includes but shall not be limited to:

- i. lifting equipment and lifting tackle
- ii. power driven machinery
- iii. electrical equipment
- iv. testing and monitoring equipment

h) Barricading

All barricading shall be of the rigid type unless the use of non-rigid barricading has been approved in writing by the Department of Public Works Project Manager. The contractors' barricading standard shall be included in the Health and Safety Plan.

Where more than one contractor is working on a site, the fixed barricading shall be clearly marked with the company's name, site contact person as well as the contact number/s.

i) Erection of Structures for Logistic Support

Prior to site establishment Department of Public Works shall approve the contractor's site plan.

Department of Public Works shall approve all structures erected for logistical support by the contractor. These structures include fences, workshops, tool sheds, offices, ablution facilities, etc.

j) Salvage Yard Management

Depending on the site specific arrangements and procedures, Department of Public Works may provide the salvage yard and the resources to manage it.

The salvage yard management shall conform to safety, health and environmental requirements. The contractors are required to move the equipment from the place of work to the salvage yard.

k) Fall Arrest and Prevention Equipment

Approved fall prevention equipment shall be used at heights of less than 2.0 metres. Above heights of 2.0 metres fall prevention equipment shall include fall arrest Equipment. Users of fall arrest equipment shall, amongst other things be trained in what an appropriate load bearing point is for connecting fall prevention equipment. Any deviation from this requirement shall be negotiated and agreed with Department of Public Works in writing.

l) Hazardous Chemical Substances Waste Removal

Department of Public Works shall provide a facility to collect all hazardous chemical waste material.

The contractor shall provide adequately marked and sealable containers to transport The hazardous chemical waste from the source to the approved Department of Public Works disposal point.

m) Personal Protective Equipment (PPE)

Personal protective equipment issued shall be specific to the risks associated with the work to be performed and specific to conditions on site and shall comply with South African National Standards (SANS) or similar.

20. LOCKOUT SYSTEMS

A system of control shall be established in order that no unauthorized person can energize a circuit, open a valve, or activate a machine on which people are working or doing maintenance, even if equipment, plant or machinery is out of commission for any period, thus eliminating injuries and damage to people and equipment as far as is reasonably practicable.

Physical/mechanical lock-out systems shall be part of the safety system and included in training. Lockouts shall be tagged and the system tested before commencing with any work or repairs.

21. IMPORTANT LISTS AND RECORDS TO BE KEPT

The following are lists of several records that are to be kept in terms of the Construction Regulations. The lists are:

- i. List of appointments
- ii. List of record keeping responsibilities
- iii. Inspection checklist

a) Contractor Risk Assessment Process

The risk assessment process shall include:

- 1) an evaluation of the method of the work to be conducted
- 2) the method statement on the procedure to be followed in performing the task shall be developed
- 3) the risk assessment will also include activities like:
 - i. Transportation of passengers and goods to and from site
 - ii. Site establishment
 - iii. Physical and mental capabilities of employees
 - iv. Others as may be specified.
- 4) the hazards as listed in the paragraph – Site Specific Health and Safety Hazards
- 5) a review plan for risk assessments shall provide for:
 - i. the quarterly review of all applicable risk assessments

- ii. the review of an assessment if there is reason to believe that the previous assessment is no longer valid, or there has been a change in a process, work methods, equipment or procedures and working conditions
- iii. Risk assessment/s to be reviewed if the outcome of incident investigations and audits etc. requires such action.

A pre - task risk assessment shall be conducted in writing on every task and be facilitated by the team leader. All risk assessments and pre-task risk assessments shall be filed and be available on site.

b) Risk Profile

All contractors shall submit a risk profile of the work to be conducted with their Health and Safety Plan.







c) Risk Based Inspection Program

The inspection programme shall be risk based. The inspection plan shall form part of the Health and Safety Plan.

IMPORTANT CONTACT DETAILS

(FOR HEALTH & SAFETY ASPECTS ONLY)

The contractor is to add all the important contact information about essentials services, support and assistance.

	SERVICE	NUMBER	CONTACT PERSON
	Hospital		
	Ambulance		
	Water Electricity		
	Police		
	Fire Brigade		
	Engineer		

ADD OTHER IMPORTANT HEALTH & SAFETY CONTACT DETAILS AS MAY BE FOUND NECESSARY.

**SECTION 37(2) AGREEMENTS
CONCLUDED BETWEEN
DEPARTMENT OF PUBLIC WORKS**

(Hereinafter referred to as Department of Public Works)

AND

.....
(Name of contractor/supplier/Agent/)

I,[
(name)representing [*Insert name of contractor/supplier*], do hereby acknowledge that
[*insert name of contractor/supplier*] is an employer in his/her own right, with duties as prescribed in the Occupational Health and Safety Act No. 85 of 1993 (“the Act”), as amended, and agree to ensure that all work will be performed and/or machinery or plant used in accordance with the provisions of the Act.

I undertake that [*insert name of contractor/supplier*] shall strictly adhere to, and ensure that his/her employees adhere to, the provisions of the Occupational Health and Safety Act, 1993 (Act 85 of 1993).

I have been provided with SHE specifications for project/service[*insert brief details of project/service, for example, name, contract/project number*]and will comply with the requirements set out in these.

I accept and agree that the SHE specifications constitute arrangements and procedures between [*Insert name of contractor/supplier/Agent Safety Manager/Safety Officer*] and Department of Public Works, which will ensure compliance by [*Insert name of contractor/supplier*] with the provisions of the Act, as contemplated in section 37(2) of the Act.

This agreement constitutes the sole agreement between the parties, and no variation, modification, or waiver of any of the provisions of this agreement or consent to any departure from these shall, in any manner, be of any force or effect, unless confirmed in writing and signed by both parties, and such variation, modification, waiver, or consent shall be effective only in the specific instance and for the specific purpose and to the extent for which it was made or given.

This agreement is signed on behalf of the parties, each signatory to this warranting that he/she has the requisite authority to do so.

Signed this day of 20 at

..... (Place)

(Full name)..... (Signature)on

behalf of **(Supplier/contractor/Agent)**

Contractor Responsible Manager (*responsible for signing the Department of Public Works' contract on behalf of the contractor*)

Witnesses

1.
2.

Signed this day of20.....

at (Place)

(Full name..... (Signature).....on

Behalf of **Department of Public Works.**

(Contracts and/or Project Manager or Department of Public Works representative)

Witnesses

1.
2.

PROJECT: _____
(full name AND site address of project)
(and full or proper description of project)

WCS NO: _____ (works control system number)

SUPERVISION BY THE DEPARTMENT OF PUBLIC WORKS:

Mr /Ms/Me - **CONSTRUCTION PROJECT MANAGER**
(add full details of the project manager)

.....
.....

Mr /Ms/Me - **CONSTRUCTION MANAGER**
(add full details)

.....
.....

Mr /Ms/Me **AGENT:**
(full particulars of agent)

.....
.....

SUPERVISION BY THE PRINCIPAL CONTRACTOR:

PRINCIPAL CONTRACTOR: (full particulars of principle contractor / contractor)

Mr /Ms/Me - **CONSTRUCTION HEALTH & SAFETY OFFICER**
(add full details and contact of this officer)

.....
.....

Mr /Ms/Me - **CONSTRUCTION HEALTH & SAFETY MANAGER**
(add full details of this officer)

.....
.....

Mr /Ms/Me

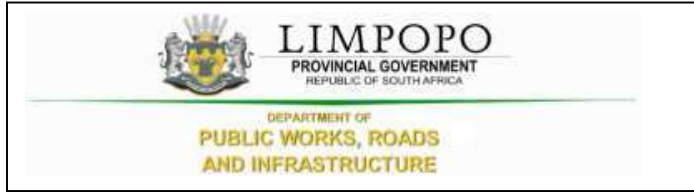
- **CONSTRUCTION HEALTH & SAFETY AGENT
(add full details of this officer)**

.....
.....

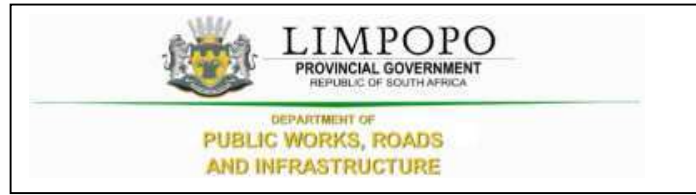
Mr /Ms/Me

- **CONSTRUCTION MANAGER
(add full details of the head of the project)**

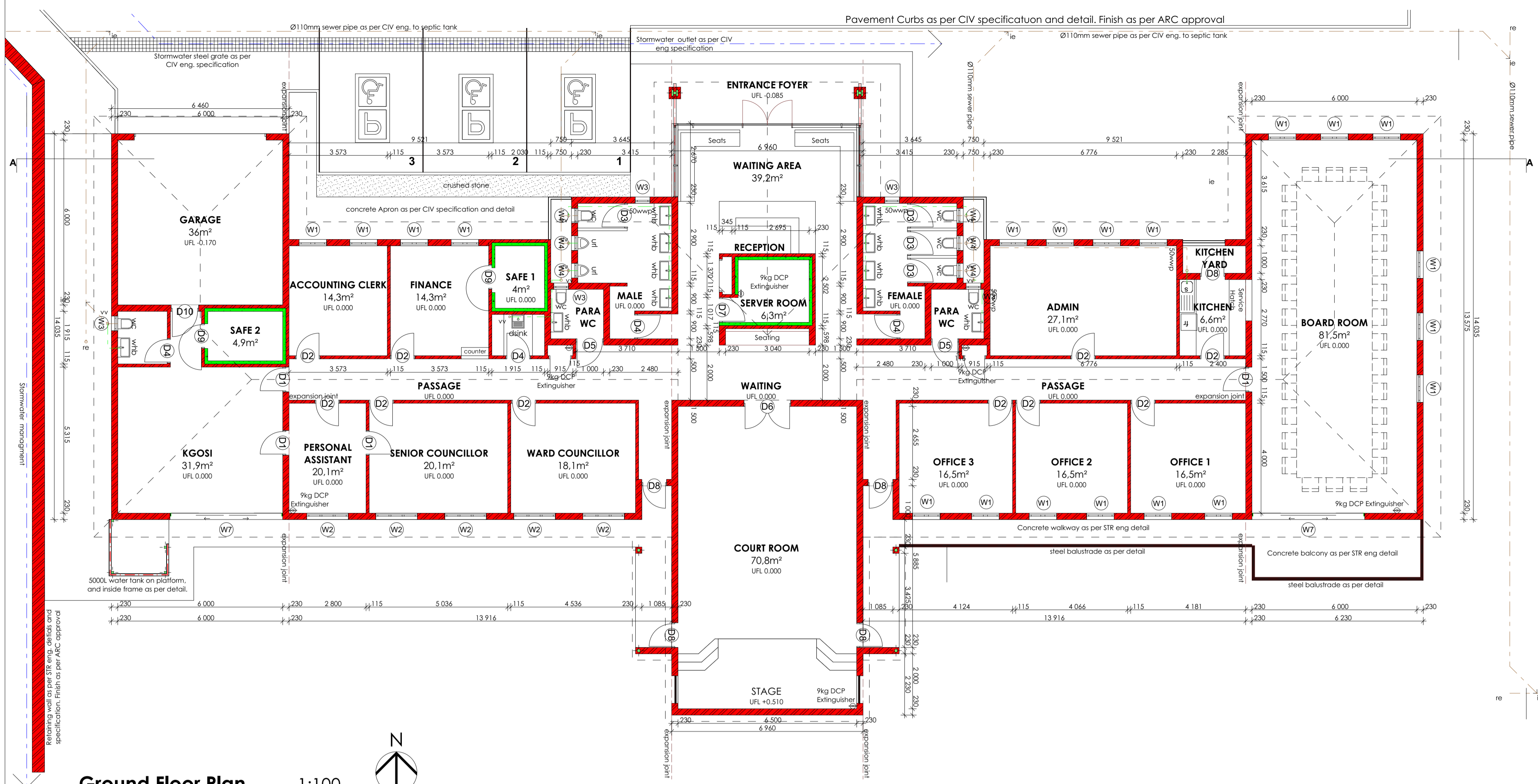
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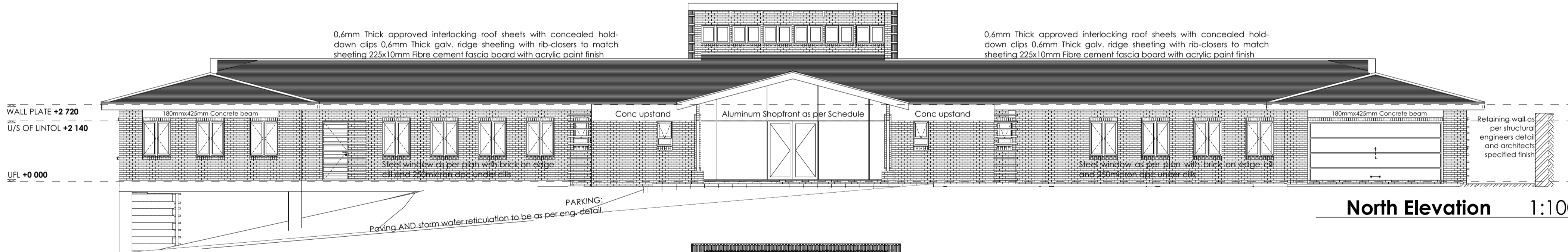
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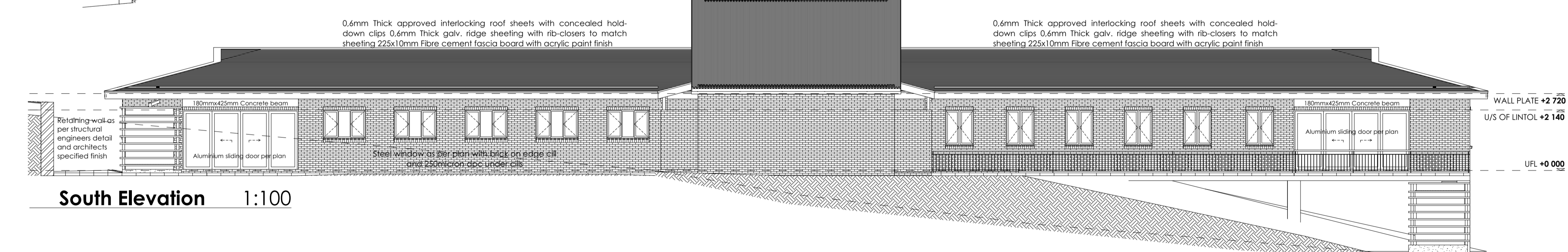
C4.1 DRAWINGS



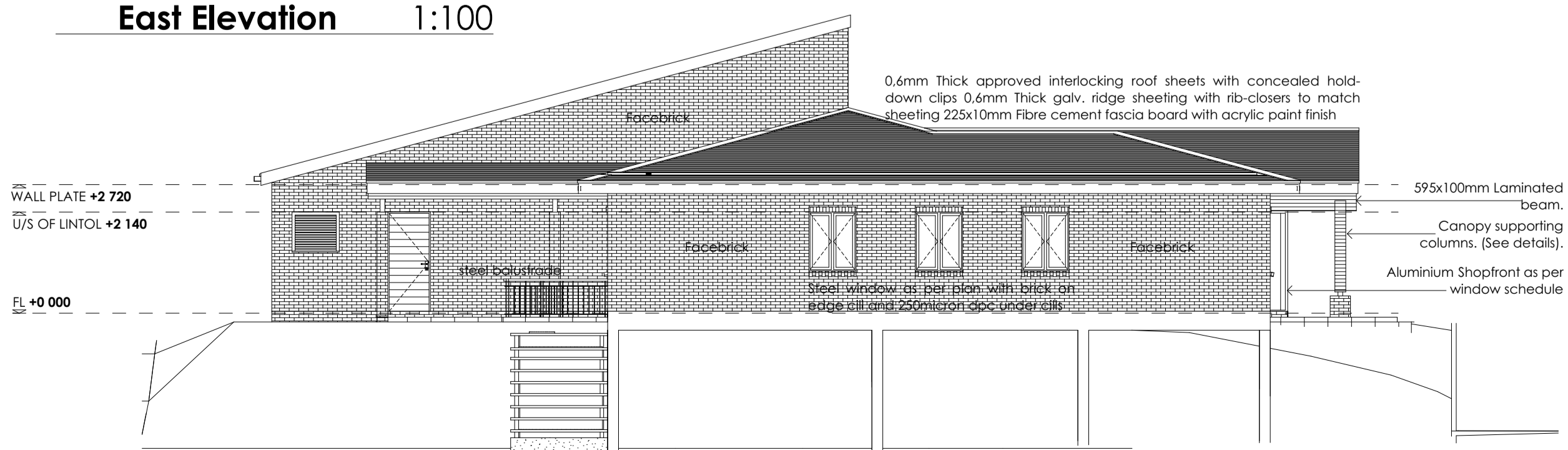
Ground Floor Plan 1:100



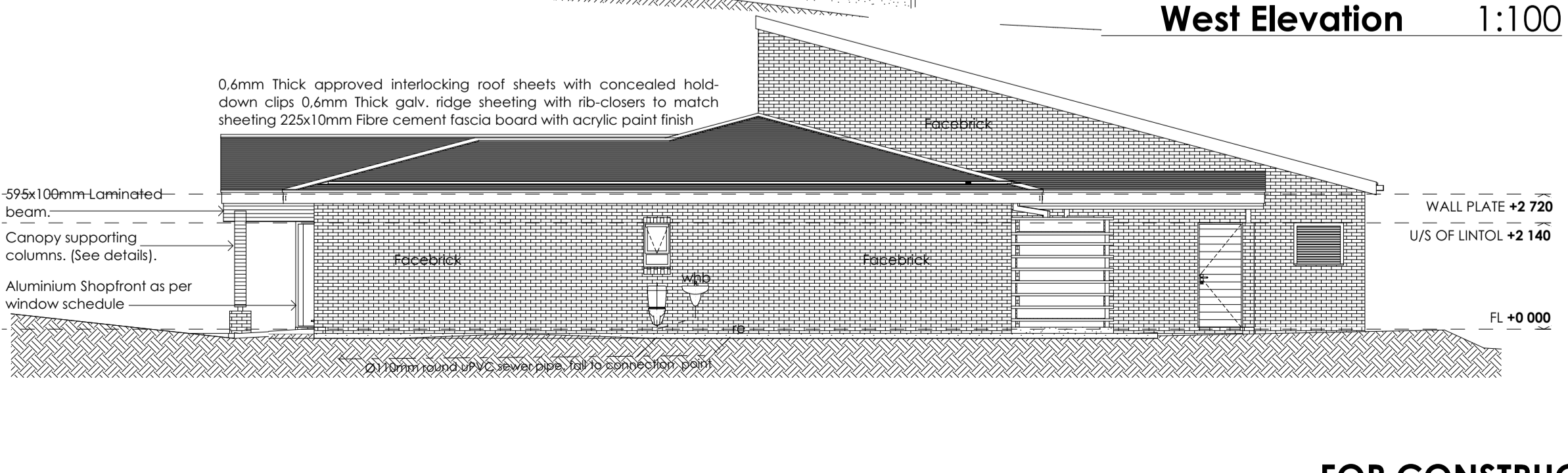
North Elevation 1:100



South Elevation 1:100



East Elevation 1:100



West Elevation 1:100

FOR CONSTRUCTION

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- GENERAL NOTES**
- All general notes apply to all drawings, details, specifications & any supplementary information: all contractual documentation.
 - The contractor is responsible for checking all levels & dimensions on site when setting out, prior to commencing construction & cross checking all building dimensions during the construction process. Read only figured dimensions, indicated in millimetres, & do not scale. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
 - The contractor is responsible for the works co-ordination & programming of the works. All consultant & shop drawings are to be cross checked with DPWL drawings. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
 - The contractor is responsible for reporting any deviation from DPWL drawings & specifications. Written approval is required from edifice design prior to construction & installation commencing.
 - DPWL accepts no responsibility for errors resulting from the misinterpretation of drawings or specifications. If in doubt, query details.
 - The contractor is responsible for compliance with all applicable SABS 0400 standards, manufacturer's installation instructions, procedures & recommendations & local authority regulations in respect of the full scope of the works. This requirement shall not be deemed to be superseded by the provisions of any other contract document.
 - The contractor is responsible for construction procedures & methodology being carried out & implemented in strict accordance with the latest occupational health & safety act & regulations.
 - The contractor is responsible for checking all opening sizes & vertical & horizontal position prior to the construction, manufacture & installation of fitted items. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
 - The contractor is responsible for the provision of guarantees for all materials, installations & systems, to be issued to DPWL at practical completion.
 - All structural work is to be designed, detailed, specified & supervised by the structural engineer & is to be carried out in strict accordance with this. All structural work is to be built from the engineer's drawings and the stability is to be certified by the structural engineer on completion of the works.
 - Drawings are only to be read for the purpose intended.
 - Refer to project data sheet for comprehensive notes & specifications.

DOOR AND WINDOWS:
Windows glazing to be in accordance with NBR. Bathroom and WC windows to be obscure.

GLAZING:
All Glazing unless specified Clear laminated sound control safety glass, complying with SANS 1263 Part 1, 2 or 3 with name of the manufacturer permanently marked on each sheet visible after glazing, glazed in accordance with NBR N schedule 1 and SABS 0137.
Glass Properties:
• Shading Coefficient = 0.47 to 0.70
• Light Transmission Level = 61 to 95

Specified: Obscure glazed unit, glazed in accordance with NBR N schedule 1 and SABS 0137.
Glass Properties:
• Shading Coefficient = 0.58 to 0.75
• Light Transmission Level = 59 to 83

EXTERNAL WORKS:
All Paving to be laid on well compacted AND consolidated ground to engineer's detail. Soil panning shall be provided under paving in accordance to Engineer's specifications.

CONCRETE:
All proposed and existing concrete works, paving AND storm water reticulation to be specified, verified and approved by engineer.

PLASTER:
Internal plaster to be 10 to 15mm thick, cement / sand ratio of 1:5 plaster sealed, 1 undercoat, 2 coats 'wall n all' paint. Colour to be approved.

EXPANSION JOINTS:
Expansion (control) joints where deemed necessary by engineer to be formed with a continuous strip of 12mm bitumen impregnated felt-board between 230mm brick walls. To be sealed internally and externally with 10mm deep polysulphide sealant.

INSULATION:
50mm Alutherm AP polyester fibre blanket laminated to 4mm White bubble layer on one side and reinforced foil facing on other, complying with SANS 1381-1:2007, laid and stapled horizontally on top of timber rafters and branding before fixing of roof sheeting (elsewhere specified).

REV NO.	DATE	REVISION

DEPARTMENT

DEPARTMENT OF
PUBLIC WORKS, ROADS & INFRASTRUCTURE
Limpopo Department of Public Works, Roads and Infrastructure's Strategic Planning and Design Hub.
43 Church Street, Polokwane, 0700
(015) 284 7000/1

PROJECT TITLE
TRIBAL OFFICE FOR THE DEPARTMENT OF TRADITIONAL AFFAIRS

DRAWING TITLE
OFFICE: PLAN & ELEVATIONS

SCALE	1:100	DRAWN	T.CELE
DATE		CHECKED	T.CELE

SIZE	PROJECT NO.	STAGE	DRAWING NO.	REV.
A1	LDPWRI B/17020	C	LDPWRI B/17020_100	0

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 - The contractor is responsible for reporting any deviation from DPWL drawings & specifications. Written approval is required from edifice design prior to construction & installation commencing.
 - DPWL accepts no responsibility for errors resulting from the misinterpretation of drawings or specifications. If in doubt, query details.
 - The contractor is responsible for compliance with all applicable SABS 0400 standards, manufacturer's installation instructions, procedures & recommendations & local authority regulations in respect of the full scope of the works. This requirement shall not be deemed to be superseded by the provisions of any other contract document.
 - The contractor is responsible for construction procedures & methodology being carried out & implemented in strict accordance with the latest occupational health & safety act & regulations.
 - The contractor is responsible for checking all opening sizes & vertical & horizontal position prior to the construction, manufacture & installation of fitted items. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
 - The contractor is responsible for the provision of guarantees for all materials, installations & systems, to be issued to DPWL at practical completion.
 - All structural work is to be designed, detailed, specified & supervised by the structural engineer & is to be carried out in strict accordance with this. All structural work is to be built from the engineer's drawings and the stability is to be certified by the structural engineer on completion of the works.
 - Drawings are only to be read for the purpose intended.
 - Refer to project data sheet for comprehensive notes & specifications.

DOOR AND WINDOWS:
 Windows glazing to be in accordance with NBR. Bathroom and WC windows to be obscure.

GLAZING:
 All Glazing unless specified Clear laminated sound control safety glass, complying with SANS 1283 Part 1, 2 or 3 with name of the manufacturer permanently marked on each sheet visible after glazing, glazed in accordance with NBR N schedule 1 and SABS 0137.

Glass Properties:
 • Shading Coefficient = 0.47 to 0.70
 • Light Transmission Level = 61 to 95

Specified: Obscure glazed unit, glazed in accordance with NBR N schedule 1 and SABS 0137.

Glass Properties:
 • Shading Coefficient = 0.58 to 0.75
 • Light Transmission Level = 59 to 83

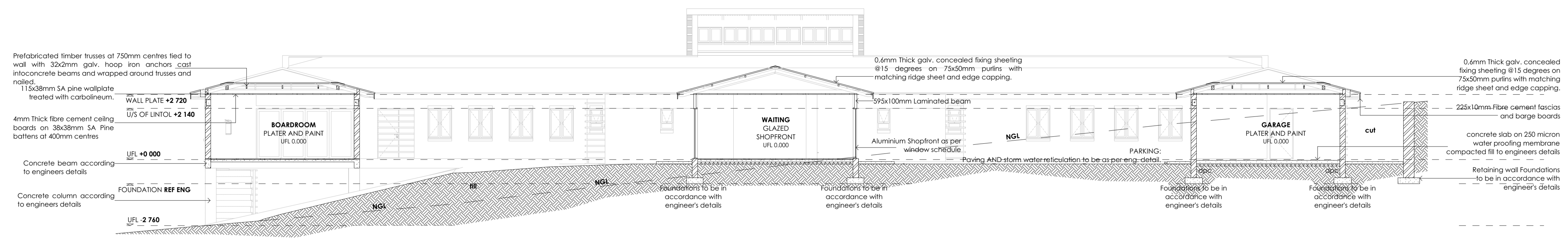
EXTERNAL WORKS:
 ALL Paving to be laid on well compacted AND consolidated ground to engineer's detail. Soil panning shall be provided under paving in accordance to Engineer's specifications.

CONCRETE:
 All proposed and existing concrete works, paving AND storm water reticulation to be specified, verified and approved by engineer.

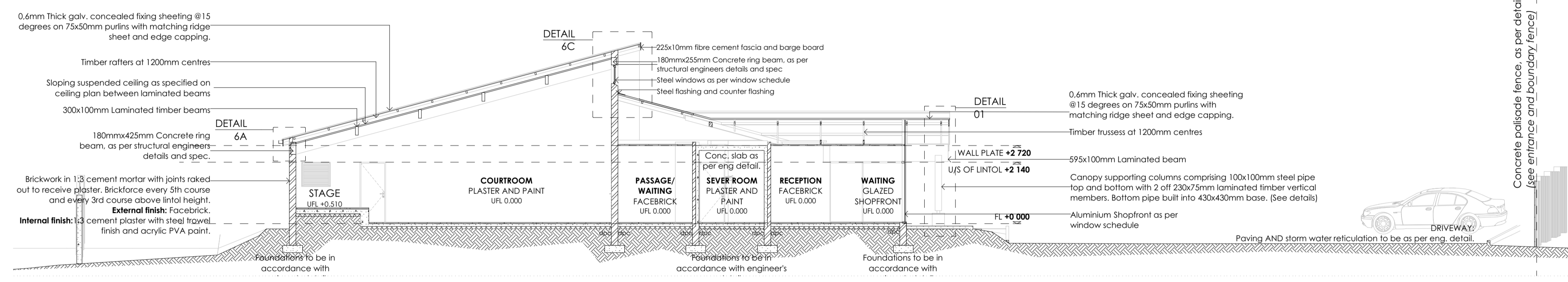
PLASTER:
 Internal plaster to be 10 to 15mm thick, cement / sand ratio of 1:5 plaster sealed, 1 undercoat, 2 coats 'wall n all' paint. Colour to be approved.

EXPANSION JOINTS:
 Expansion (control) joints where deemed necessary by engineer to be formed with a continuous strip of 12mm bitumen impregnated soft-board between 230mm brick walls, to be sealed internally and externally with 10mm deep polysulphide sealant.

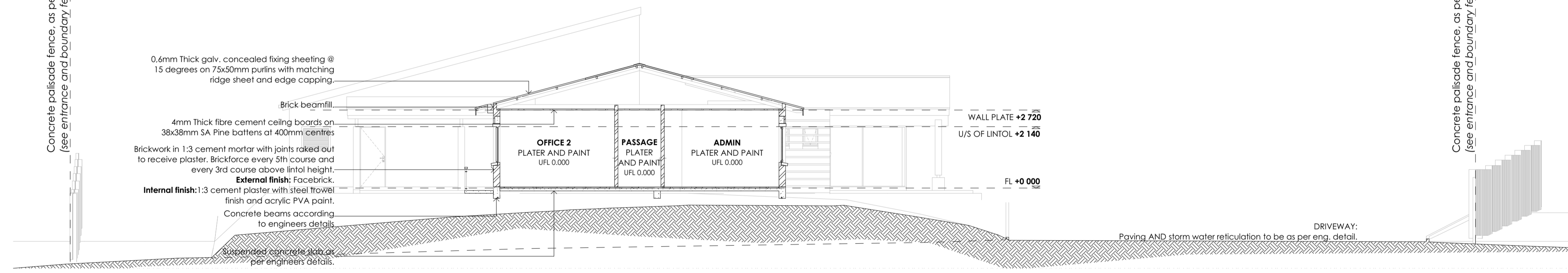
INSULATION:
 50mm Alutherm AP polyester fibre blanket laminated to 4mm white bubble layer on one side and reinforced foil facing on other, complying with SANS 1381-1:2007, laid and stapled horizontally on top of timber rafters and branding before fixing of roof sheeting (elsewhere specified).



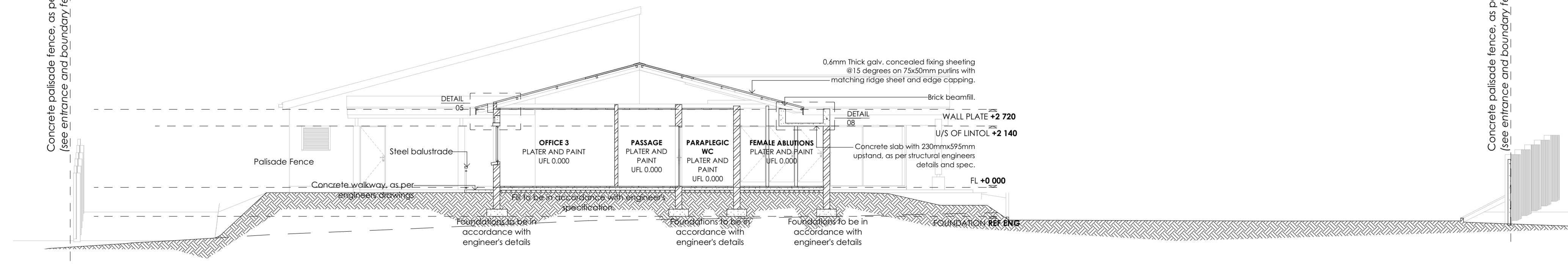
SECTION A-A 1:100



SECTION B-B 1:100



SECTION C-C 1:100



SECTION D-D 1:100

REV NO.	DATE	REVISION

DEPARTMENT

 DEPARTMENT OF
PUBLIC WORKS, ROADS & INFRASTRUCTURE
 Limpopo Department of Public Works, Roads and Infrastructure's Strategic Planning and Design Hub.
 43 Church Street, Polokwane, 0700
 (015) 284 7000/1

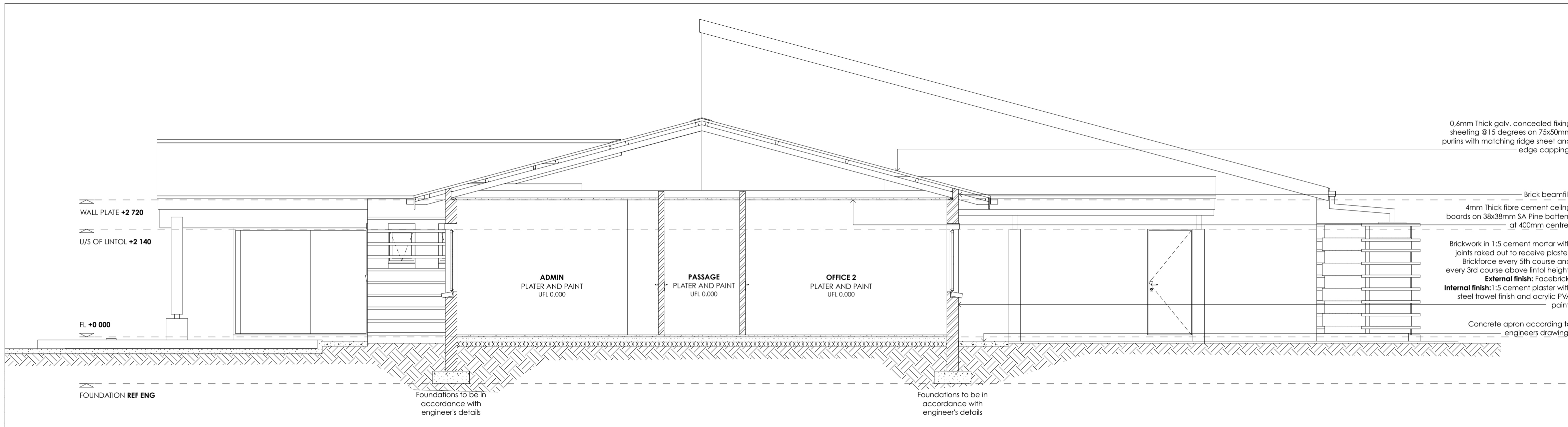
PROJECT TITLE
 TRIBAL OFFICE FOR THE DEPARTMENT OF TRADITIONAL AFFAIRS

DRAWING TITLE
 OFFICE: SECTIONS

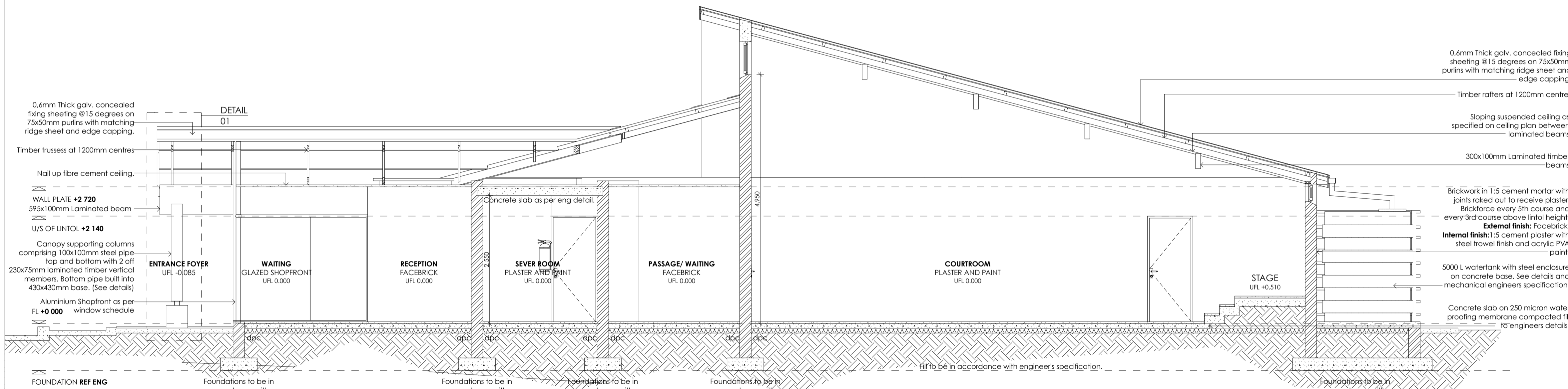
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DATE		CHECKED	T.CELE

SIZE	PROJECT NO.	STAGE	DRAWING NO.	REV.
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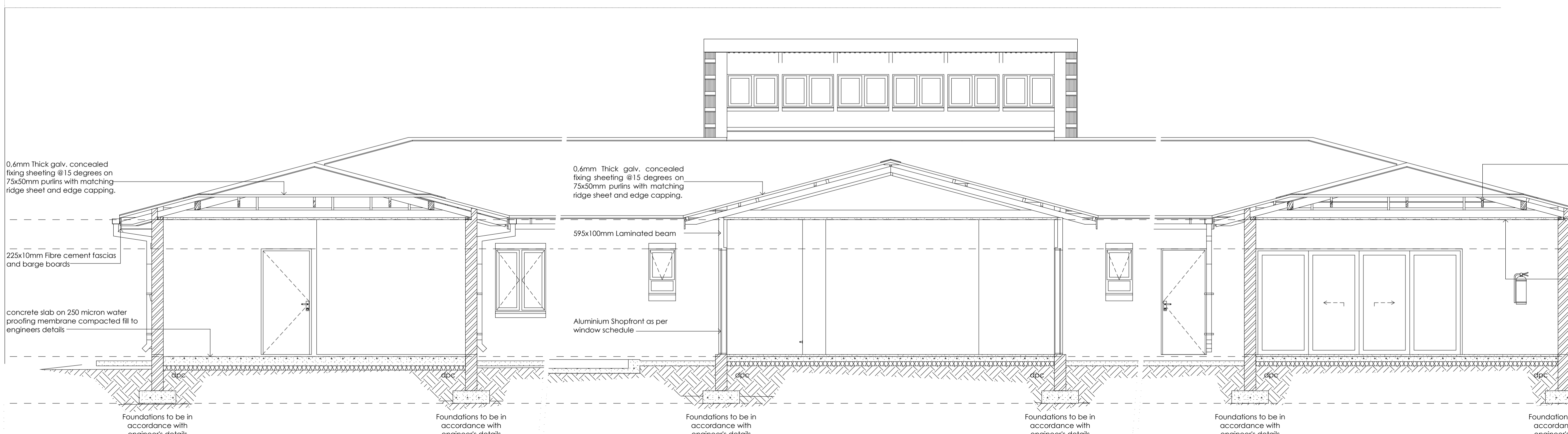
FOR CONSTRUCTION



SECTION C-C 1:50



SECTION B-B 1:50



SECTION A-A 1:50

- GENERAL NOTES**
- All general notes apply to all drawings, details, specifications & any supplementary information; all contractual documentation.
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 - The contractor is responsible for: compliance with all applicable SABS 0400 standards, manufacturer's installation instructions, procedures & recommendations & local authority regulations in respect of the full scope of the works. This requirement shall not be deemed to be superseded by the provisions of any other contract document.
 - The contractor is responsible for construction procedures & methodology being carried out & implemented in strict accordance with the latest occupational health & safety act & regulations.
 - The contractor is responsible for checking all opening sizes & vertical & horizontal position prior to the construction, manufacture & installation of fitted items. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
 - The contractor is responsible for the provision of guarantees for all materials, installations & systems, to be issued to DPWL at practical completion.
 - All structural work is to be designed, detailed, specified & supervised by the structural engineer & is to be carried out in strict accordance with this. All structural work is to be built from the engineer's drawings and the stability is to be certified by the structural engineer on completion of the works.
 - Drawings are only to be read for the purpose intended.
 - Refer to project data sheet for comprehensive notes & specifications.

DOOR AND WINDOWS:
All external doors and windows to have aluminium frames as per SABS specifications. Internal doors to be flush panel semi-solid with hardwood frames provided with one pair 100mm brass butt hinges and lock set. Windows glazing to be in accordance with NBR. Bathroom and WC windows to be obscure.

GLAZING:
All Glazing unless specified Clear laminated sound control safety glass, complying with SANS 1263 Part 1, 2 or 3 with name of the manufacturer permanently marked on each sheet visible after glazing, glazed in accordance with NBR N schedule 1 and SABS 0137.

Glass Properties:
• Shading Coefficient = 0.47 to 0.70
• Light Transmission Level = 61 to 95

Specified: Obscure glazed unit, glazed in accordance with NBR N schedule 1 and SABS 0137.

Glass Properties:
• Shading Coefficient = 0.58 to 0.75
• Light Transmission Level = 59 to 83

EXTERNAL WORKS:
ALL Paving to be laid on well compacted AND consolidated ground to engineer's detail. Soil poisoning shall be provided under paving in accordance to Engineer's specifications.

CONCRETE:
All proposed and existing concrete works, paving AND storm water reticulation to be specified, verified and approved by engineer.

PLASTER:
Internal plaster to be 10 to 15mm thick, cement /sand ratio of 1:5 plaster sealed, 1 undercoat, 2 coats 'wall n all' paint. Colour to be approved.

EXPANSION JOINTS:
Expansion (control) joints where deemed necessary by engineer to be formed with a continuous strip of 12mm bitumen impregnated soft-board between 230mm brick walls. To be sealed internally and externally with 10mm deep polysulphide sealant.

INSULATION:
50mm Alutherm AP polyester fibre blanket laminated to 4mm white bubble layer on one side and reinforced foil facing on other, complying with SANS 1381-1:2007. Laid and stapled horizontally on top of timber rafters and bracing before fixing of roof sheeting (elsewhere specified).

Prefabricated timber trusses at 750mm centres tied to wall with 32x2mm galv. hoop iron anchors cast into concrete beams and wrapped around trusses and nailed.

115x38mm SA pine wallplate treated with carbolineum.

4mm Thick fibre cement ceiling boards on 38x38mm SA Pine battens at 400mm centres

Concrete apron according to engineers drawings

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REV NO.	DATE	REVISION

DEPARTMENT
LIMPOPO
REPUBLIC OF SOUTH AFRICA
DEPARTMENT OF
PUBLIC WORKS, ROADS & INFRASTRUCTURE
Limpopo Department of Public Works, Roads and Infrastructure's Strategic Planning and Design Hub.
43 Church Street, Polokwane, 0700
(015) 284 7000/1

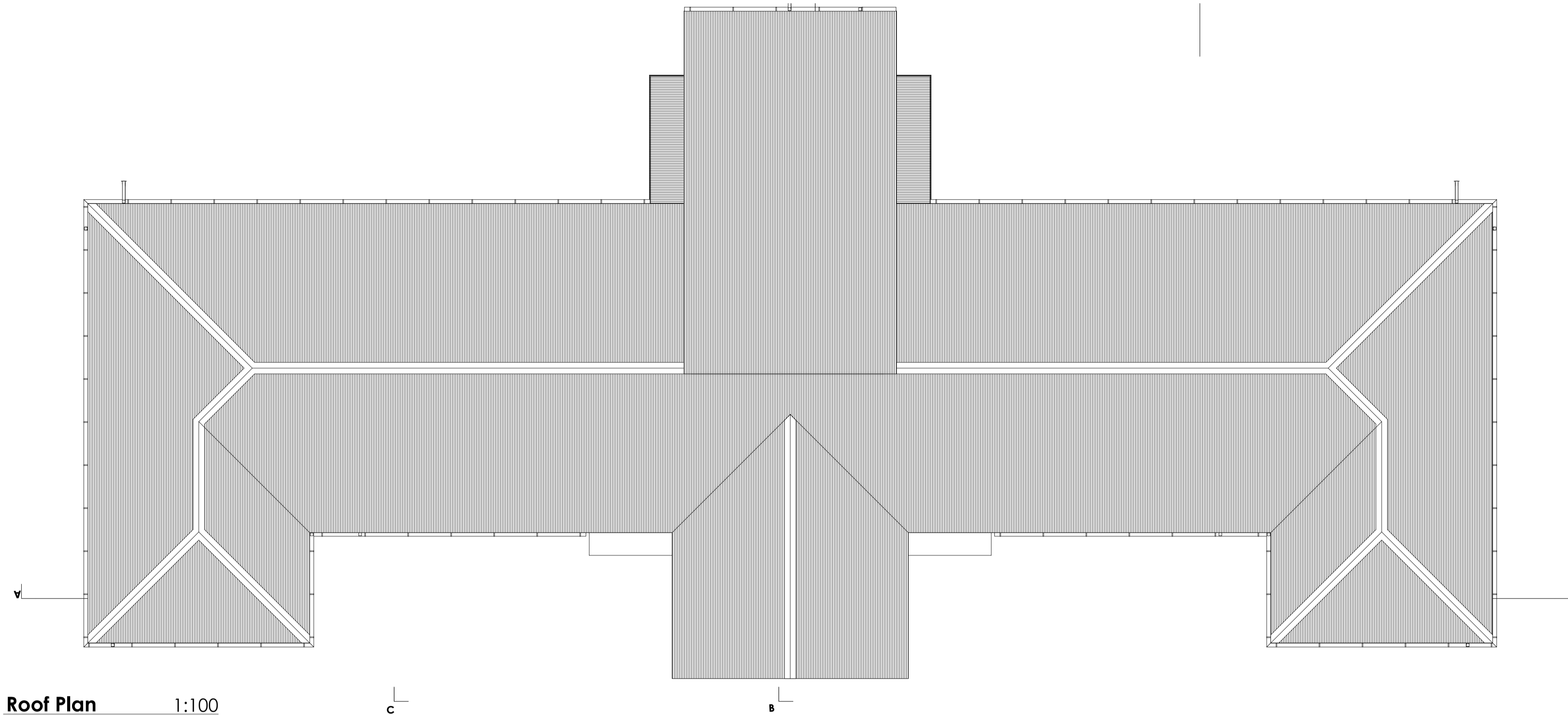
PROJECT TITLE
MASIA: TRIBAL OFFICE FOR THE DEPARTMENT OF TRADITIONAL AFFAIRS

DRAWING TITLE
OFFICE: SECTIONS

SCALE	1:100	DRAWN	T.CELE
DATE	14_08_2018	CHECKED	T.CELE

SIZE	PROJECT NO.	STAGE	DRAWING NO.	REV.
A1	TO_19000	C	TO_19000_102	0

FOR CONSTRUCTION



Roof Plan 1:100

C B

ROOF NOTES:

Prefabricated timber trusses at 750mm centres tied to wall with 32x2mm galv. hoop iron anchors cast into concrete beams and wrapped around trusses and nailed.

115x38mm SA pine wallplate treated with carbolineum.

SA Pine battens at 400mm centres.

4mm Thick fibre cement ceiling boards on 38x38mm SA Pine battens at 400mm centres.

SA pine battens at 1200mm centres with matching ridge sheet and edge capping.

300x200mm Box gutter (As per Detail).

Steel bracket to support roof overhang and box gutter fixed to timber truss (As per detail).

225x10mm Fibre cement fascias and barge boards.

TRUSS NOTES:

ALL TRUSSES TO BE DESIGNED BY A TRUSS SPECIALIST.

The trusses shall be designed for a live load of 0.5 kn/m and a wind load in accordance with sabs 10400.

The Dead Load Shall Comprise Of:

- Galvanised Iron Sheeting 0.5mm
- Self Weight Of Truss
- SA Pine battens at 400mm
- Ceiling Insulation (Sisolation 420)
- Suspended Ceiling 600 X 1200 Fibre Cement On Galv. Ms. Grid System

Shear plates, tooth connectors and spill rings shall be specified in BS 1759 : 1940 and installed in accordance with the CSIR publication :hout 468, "THE DESIGN, MANUFACTURE AND ERECTION OF TIMBER TRUSSES".

Nails shall be in accordance with sabs 820 : 1974.nails are to be 3.5 mm (x 75 mm long unless otherwise shown. Clout nails are to be 2.8 mm x 40 mm long galvanised clout nails unless otherwise shown. Minimum nail spacing to be 10d, minimum edge distance to be 5d, minimum end distance to be 15d, d=nail.

Washers Square Or Round Washers Of The Following Minimum Dimensions Shall Be Used With Bolts:

Bolt Size	Width (Mm)
Up to M8	25
Up to M12	36
4.0	
Up to M20	60
5.0	

UNDER NO CIRCUMSTANCES WILL IT BE ACCEPTED THAT THE CEILING BRANDING IS TO BE RELIED UPON TO ASSIST IN THE STABILITY OF THE TRUSSES.

Metal truss connector plates shall be fabricated out of galvanised steel of at least 1mm nominal thickness. The steel used shall have minimum yield strength of 330 mpa. The corrosion resisting coating shall be 0.275 kg/ m²(commercial class hot dipped galvanising, 30

The connector plates shall have been tested by the CSIR and be of a size capable of transmitting the forces between members of a truss without exceeding the design values given in the report.

The trusses shall be constructed to ensure the correct profile, overhangs and cambers. Trusses shall be plumb and straight before bracing and battens are attached. All joints are to be close fitting butt joints made by precision pressing of metal connector plates into each side of the joint. Batten to rafter connections to be as per detail.

Batten joints to be staggered, and spliced as per detail.

Tie beam runner joints to be staggered, and spliced as per detail.

Diagonal bracing members are to be nailed to rafters or tie beams as per detail.

All bracing, including web bracing and runners where required, to be fixed in position before roof is loaded.

All bracing must be nailed to each truss of 23ply, 3 ply, and 4ply multi timber. Trusses to be fixed to wall as per detail.

The truss manufacturer will be required to produce TR 1 and TR 2 certificate confirming that a professional engineer has designed the trusses, and that the erection of the trusses has been carried out in accordance with the design.

Truss Layout 1:100

C B

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Bathroom and WC windows to be obscure.

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REV NO.	DATE	REVISION

DEPARTMENT

LIMPOPO
PROVINCIAL GOVERNMENT
REPUBLIC OF SOUTH AFRICA

DEPARTMENT OF
PUBLIC WORKS, ROADS & INFRASTRUCTURE

Limpopo Department of Public Works, Roads and Infrastructure's Strategic Planning and Design Hub.
43 Church Street, Polokwane, 0700
(015) 284 7000/1

PROJECT TITLE

MASIA: TRIBAL OFFICE FOR THE DEPARTMENT OF TRADITIONAL AFFAIRS

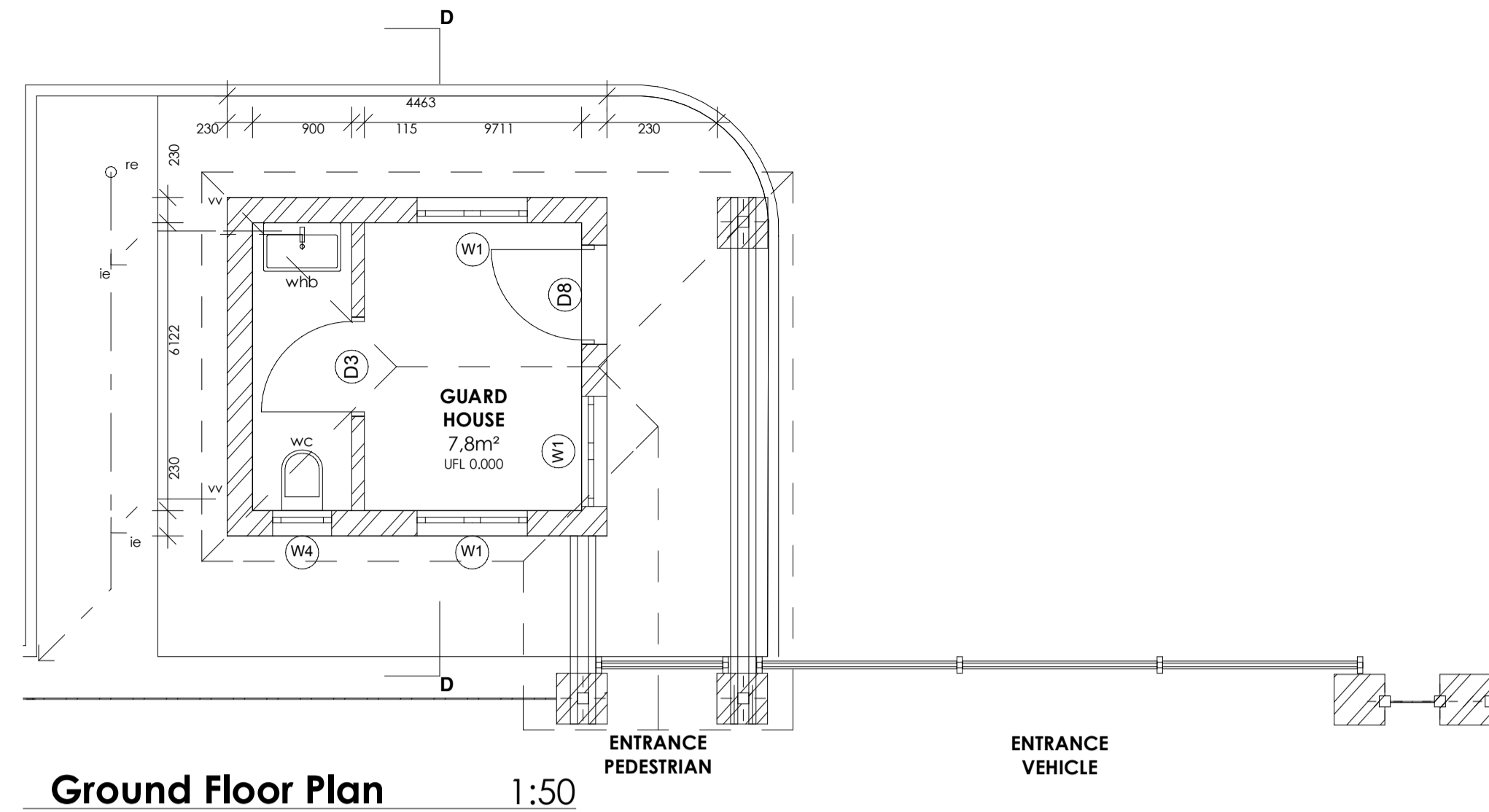
DRAWING TITLE

OFFICE: ROOF PLAN & CEILING LAYOUT

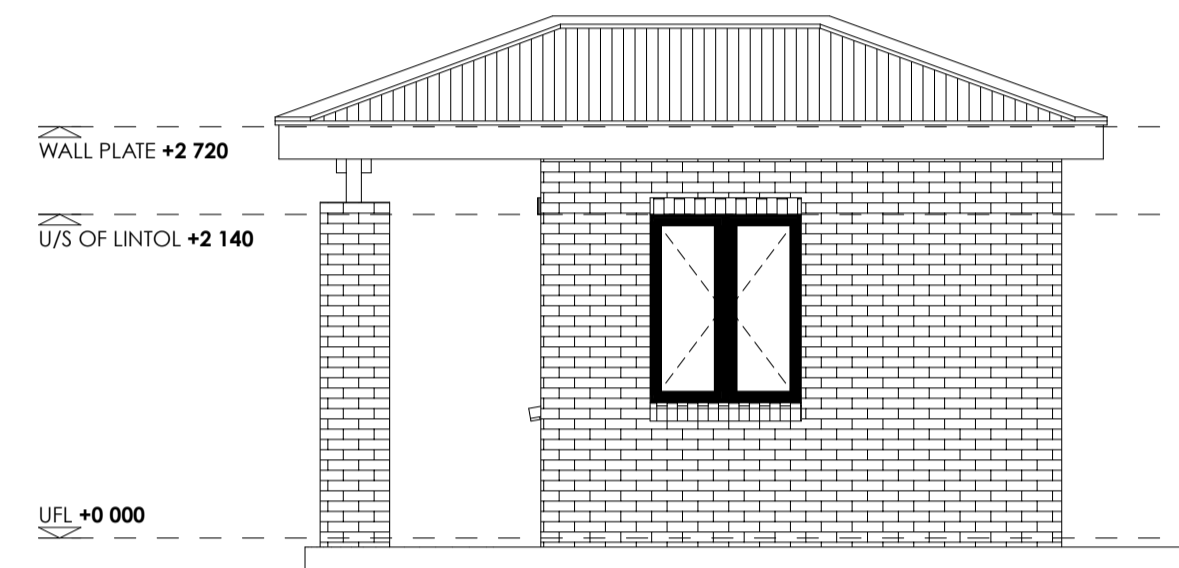
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DATE	14_08_2018	CHECKED	T.CELE

SIZE	PROJECT NO.	STAGE	DRAWING NO.	REV.
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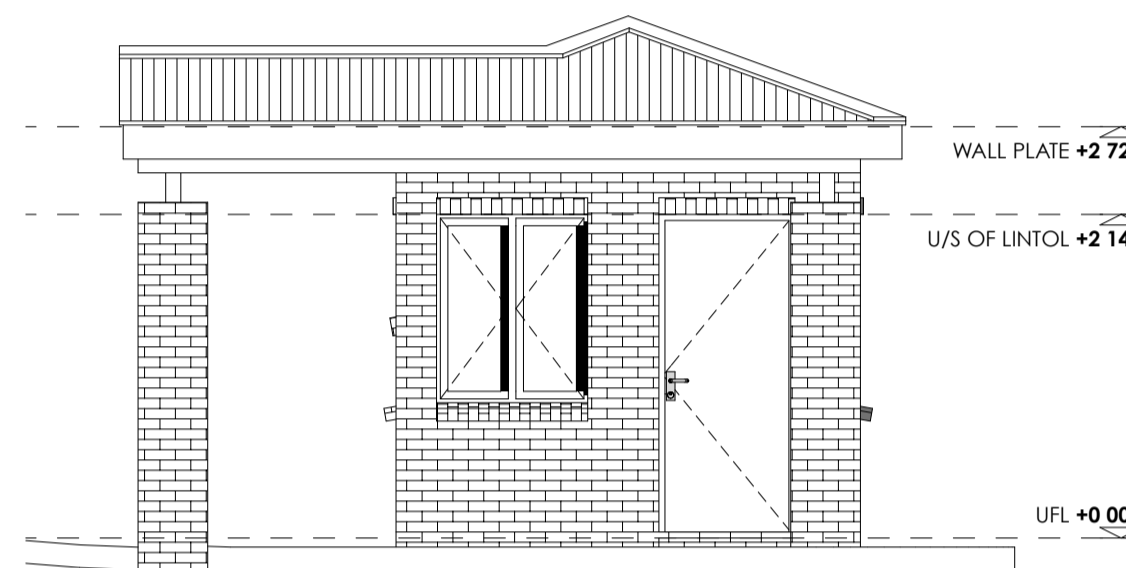
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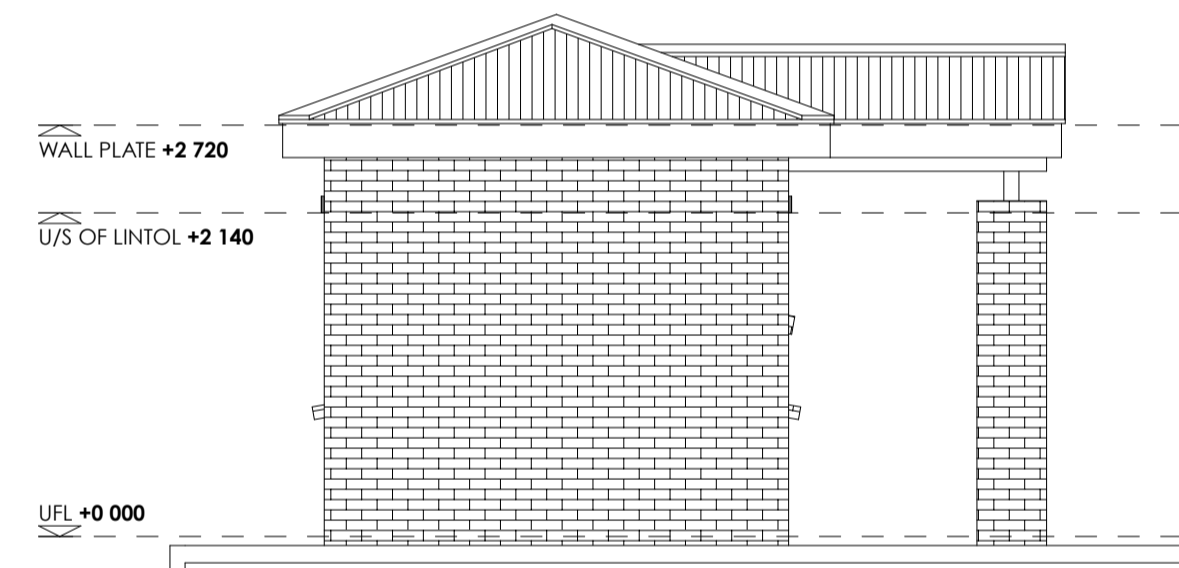
Ground Floor Plan 1:50



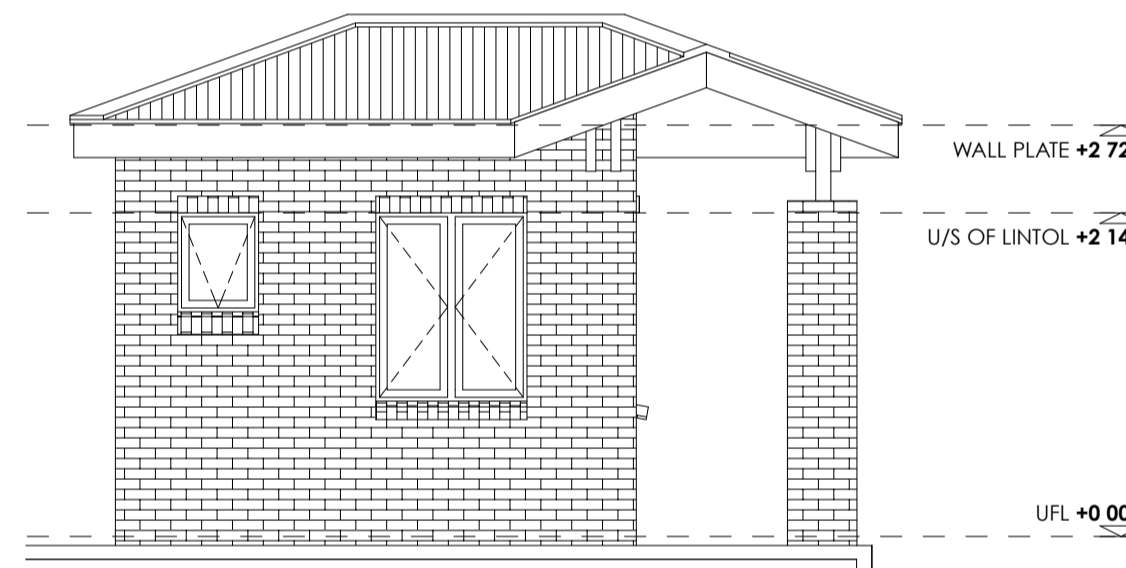
North East Elevation 1:50



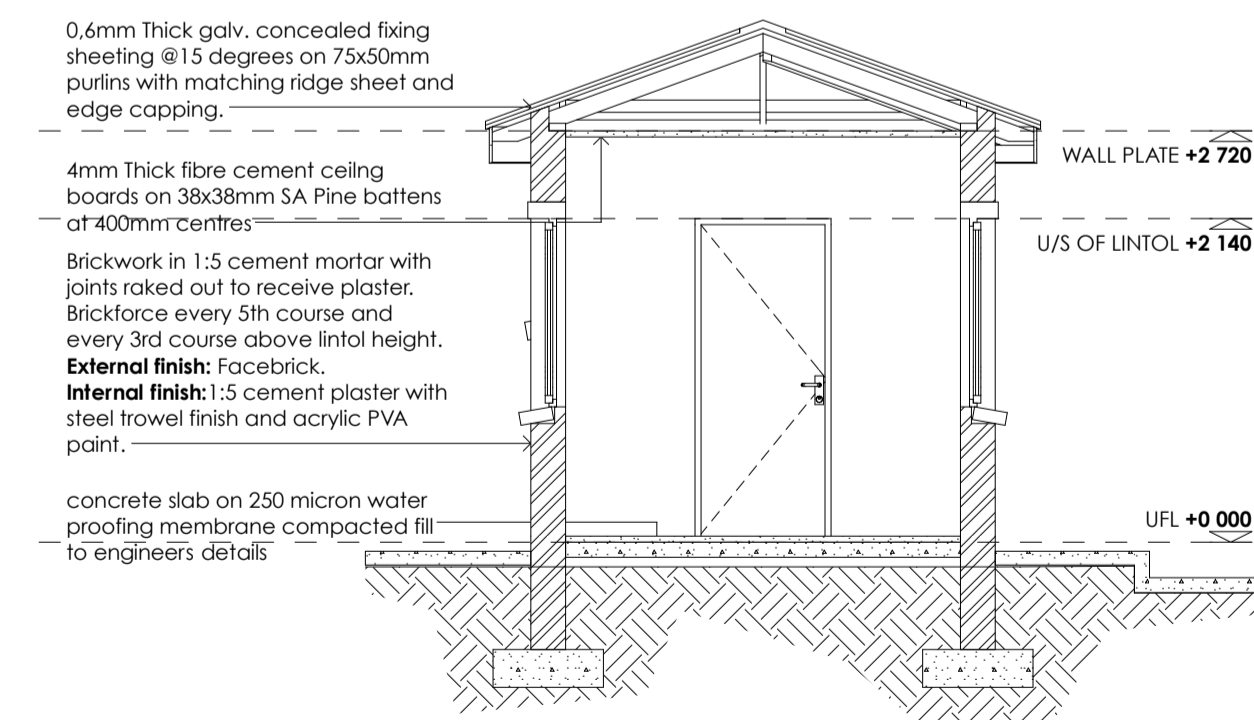
South East Elevation 1:50



North West Elevation 1:50



South West Elevation 1:50



Section D-D 1:50

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REV. NO.	DATE	REVISION

DEPARTMENT


 DEPARTMENT OF
PUBLIC WORKS, ROADS & INFRASTRUCTURE
 Limpopo Department of Public Works, Roads and
 Infrastructure's Strategic Planning and Design Hub.
 43 Church Street, Polokwane, 0700
 (015) 284 7000/1

PROJECT TITLE
 MASIA: TRIBAL OFFICE FOR THE DEPARTMENT OF
 TRADITIONAL AFFAIRS

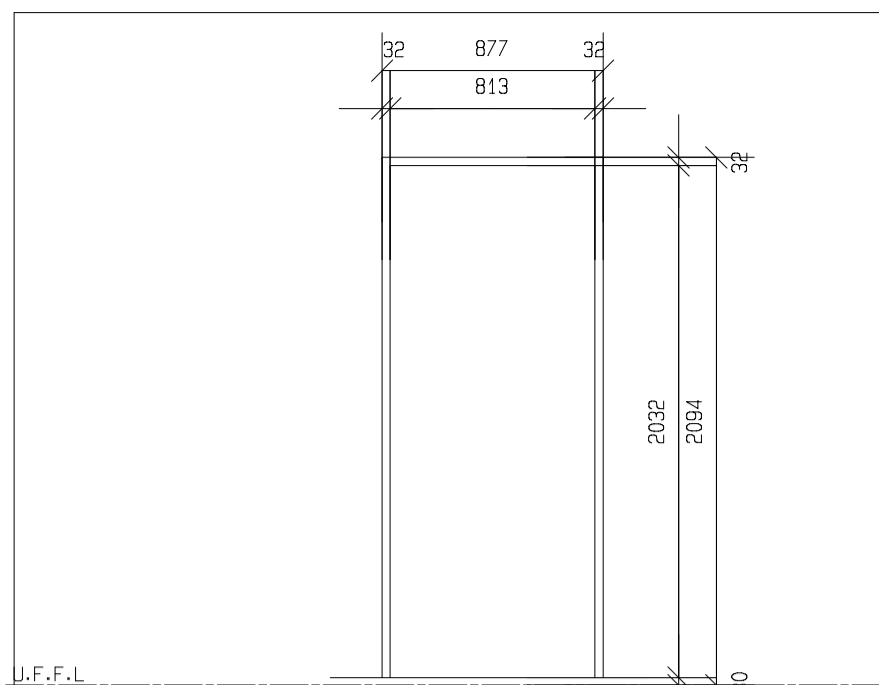
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GUARD HOUSE

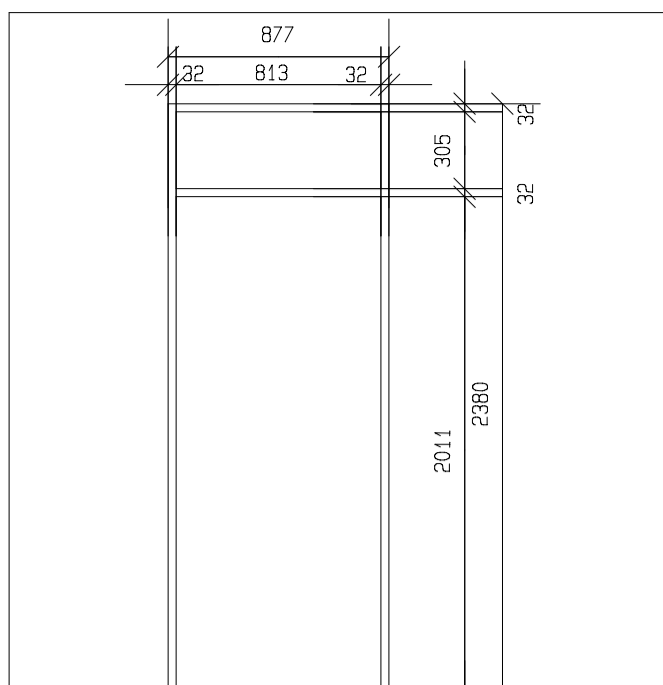
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DATE	14_08_2018	CHECKED	T.CELE

SIZE	PROJECT NO.	STAGE	DRAWING NO.	REV.
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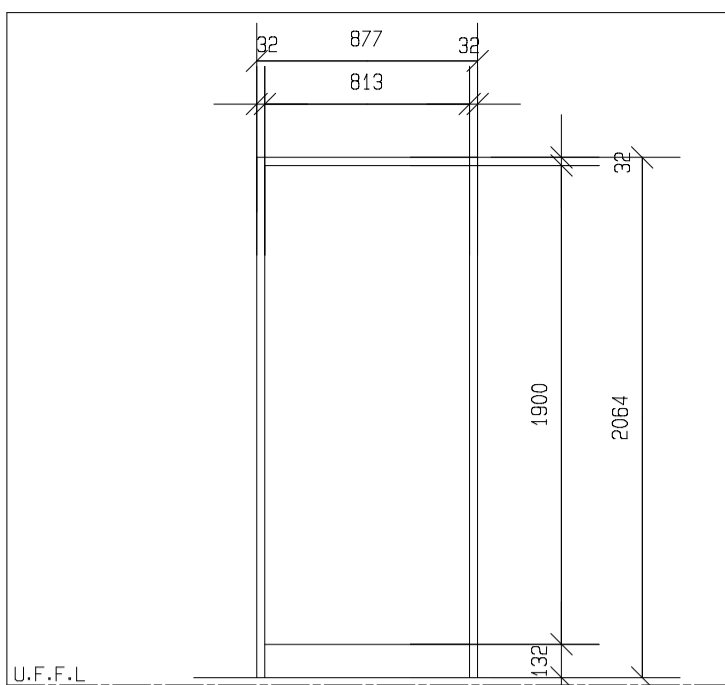
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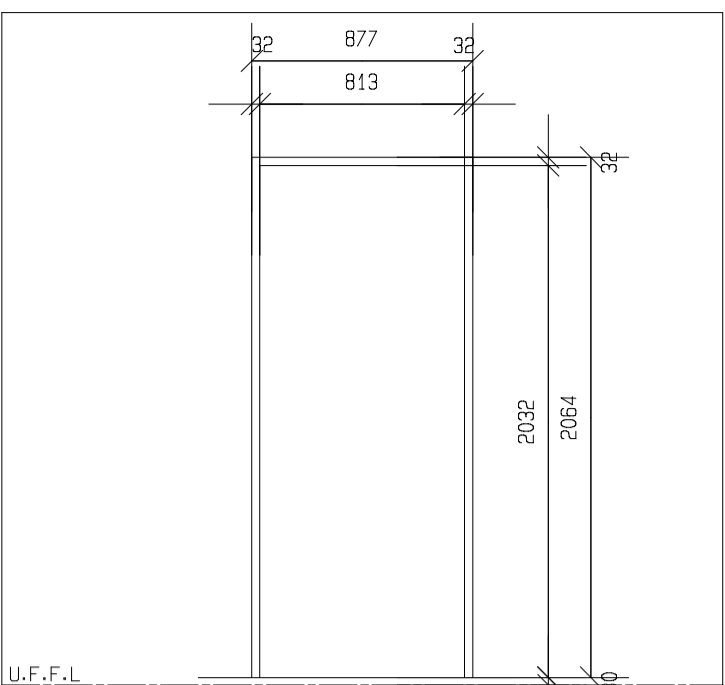
DOOR NO.	D1	NUMBER REQD.
FRAME DESCRIPTION	EXISTING STANDARD 1.2mm THICK SINGLE REBATE MILD STEEL DOOR FRAME COMPLETE WITH ONE PAIR STANDARD BUTT HINGES. FOR 115mm OR 230mm WALL.	
FRAME FINISHING	SAND DOWN EXISTING FRAME AND APPLY COATS POLYURETHANE ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACC. TO ARCHITECT.	
DOOR DESCRIPTION	NEW 2032x813x40mm THICK SEMI-SOLID CORE DOOR WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACC. TO ARCHITECT.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



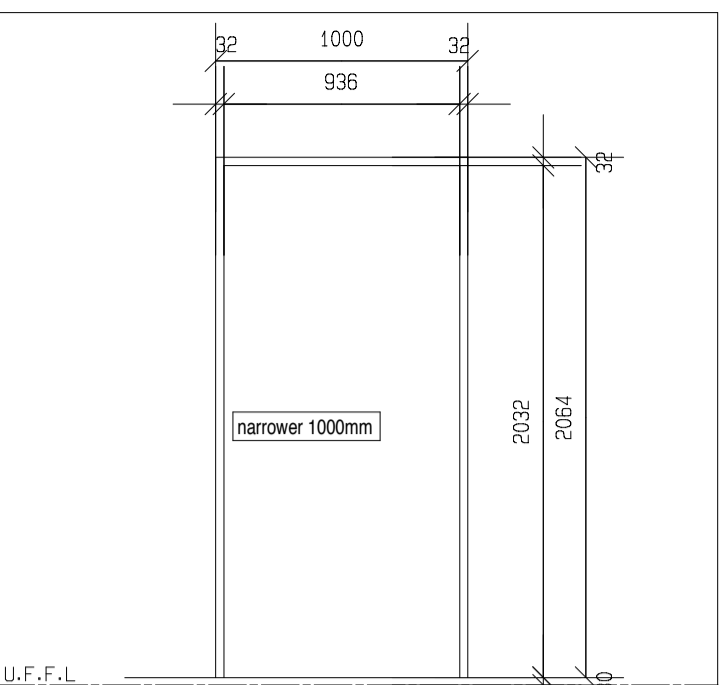
DOOR NO.	D2	NUMBER REQD.
FRAME DESCRIPTION	EXISTING STANDARD 1.2mm THICK SINGLE REBATE MILD STEEL DOOR FRAME COMPLETE WITH ONE PAIR STANDARD BUTT HINGES. FOR 115mm OR 230mm WALL.	
FRAME FINISHING	SAND DOWN EXISTING FRAME AND APPLY COATS POLYURETHANE ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
DOOR DESCRIPTION	NEW 2032x813x40mm THICK SEMI-SOLID CORE DOOR WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACC. TO ARCHITECT.	
FANLIGHT	4mm THICK FLOAT GLASS IN PUTTY IN FRAME.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



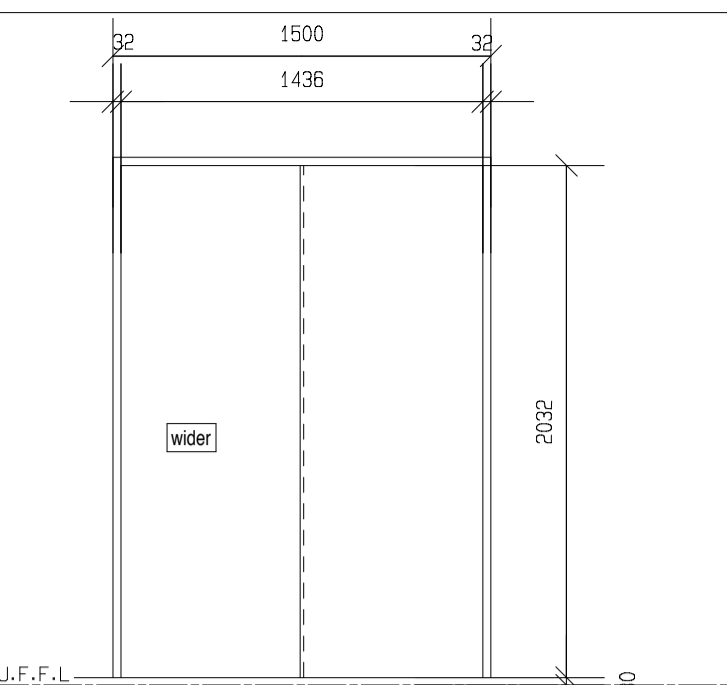
DOOR NO.	D3	NUMBER REQD.
FRAME DESCRIPTION	EXISTING STANDARD 1.2mm THICK SINGLE REBATE MILD STEEL DOOR FRAME COMPLETE WITH ONE PAIR STANDARD BUTT HINGES. FOR 115mm WALL.	
FRAME FINISHING	SAND DOWN EXISTING FRAME AND APPLY COATS POLYURETHANE ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
DOOR DESCRIPTION	NEW 1900x813x40mm THICK SEMI-SOLID CORE DOOR WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES. GAP OF 103mm AT BOTTOM.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



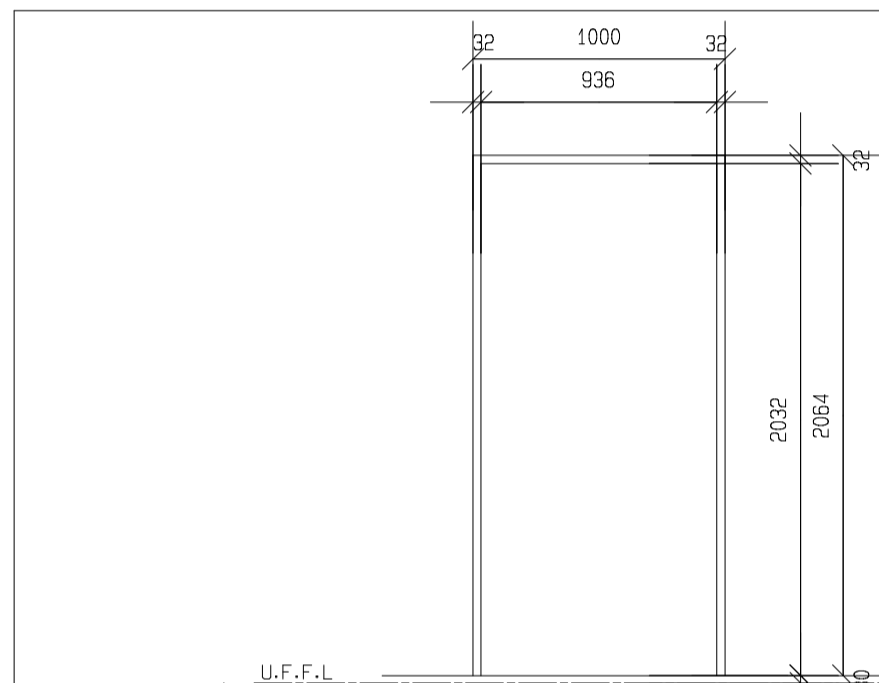
DOOR NO.	D4	NUMBER REQD.
FRAME DESCRIPTION	EXISTING STANDARD 1.2mm THICK SINGLE REBATE MILD STEEL DOOR FRAME COMPLETE WITH ONE PAIR STANDARD BUTT HINGES FOR 345mm WALL. STEEL GATE OPENING OUTWARD.	
FRAME FINISHING	SAND DOWN EXISTING FRAME AND APPLY COATS POLYURETHANE ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
DOOR DESCRIPTION	NEW 2032x813x40mm THICK SOLID CORE DOOR WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



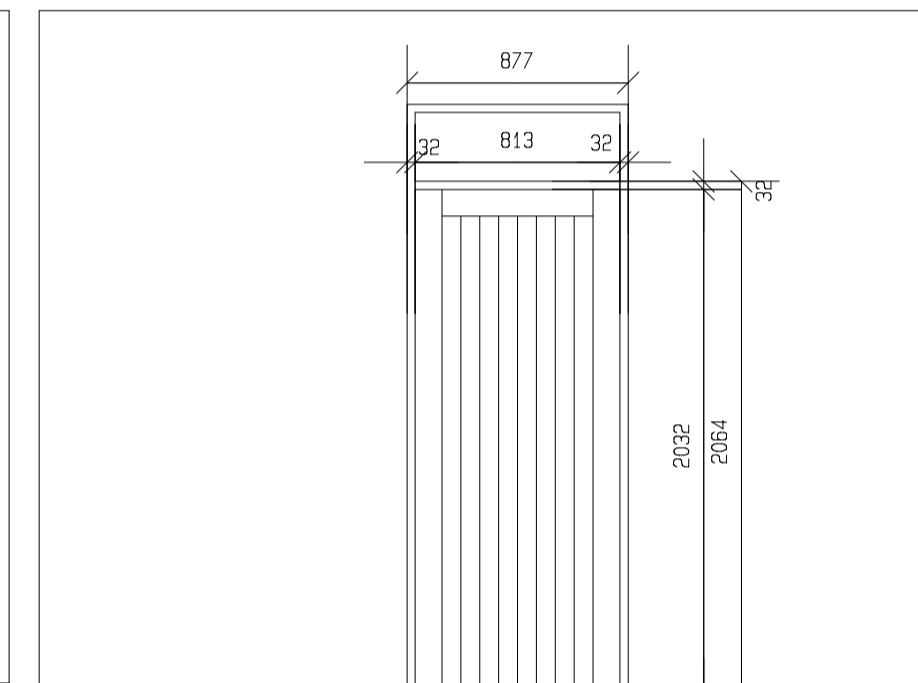
DOOR NO.	D5	NUMBER REQD.
FRAME DESCRIPTION	EXISTING STANDARD 1.2mm THICK SINGLE REBATE MILD STEEL DOOR FRAME COMPLETE WITH ONE PAIR STANDARD BUTT HINGES FOR 345mm WALL.	
FRAME FINISHING	SAND DOWN EXISTING FRAME AND APPLY COATS POLYURETHANE ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
DOOR DESCRIPTION	NEW 1000x813x40mm THICK SOLID CORE DOOR WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



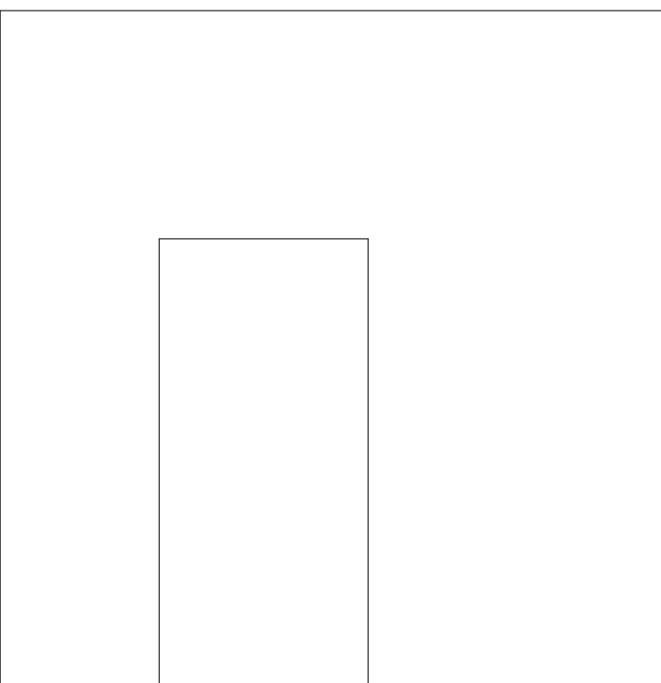
DOOR NO.	D6	NUMBER REQD.
FRAME DESCRIPTION	EXISTING STANDARD 1.2mm THICK SINGLE REBATE MILD DOUBLE STEEL DOOR FRAME COMPLETE WITH ONE PAIR STANDARD BUTT HINGES. FOR 230mm WALL.	
FRAME FINISHING	SAND DOWN EXISTING FRAME AND APPLY COATS POLYURETHANE ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
DOOR DESCRIPTION	NEW 2032x1500x40mm THICK SOLID CORE DOUBLE DOORS WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES AND REBATED SLAMMING STYLES.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT. 4mm THICK CLEAR FLOAT GLASS VIEWING PANEL 300x900mm with 19mm WOOD GLAZING BEADS. 4mm FLOAT GLASS IN PUTTY IN FANLIGHT.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



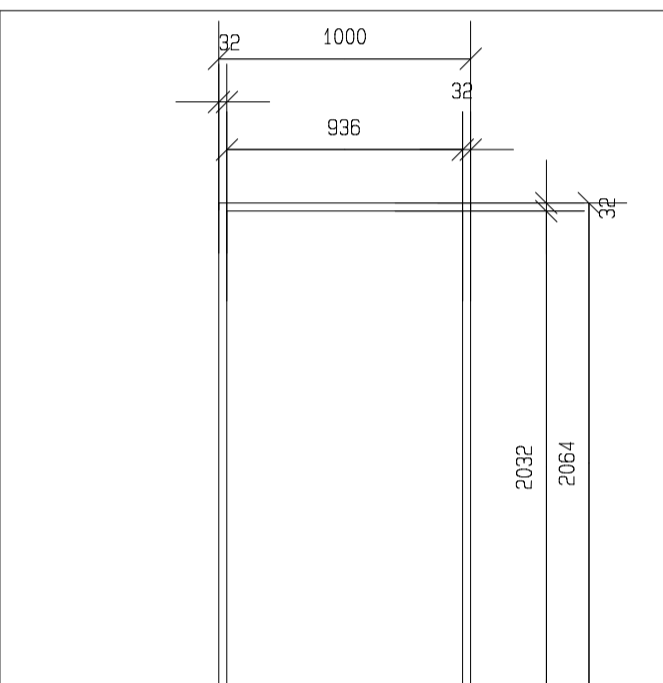
DOOR NO.	D7	NUMBER REQD.
FRAME DESCRIPTION	NONE.	
FRAME FINISHING	NO ACTION.	
DOOR DESCRIPTION	NEW 2032x1000x40mm THICK SOLID CORE DOOR WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES. SUSPENDED FROM EXISTING SLIDING MECHANISM.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



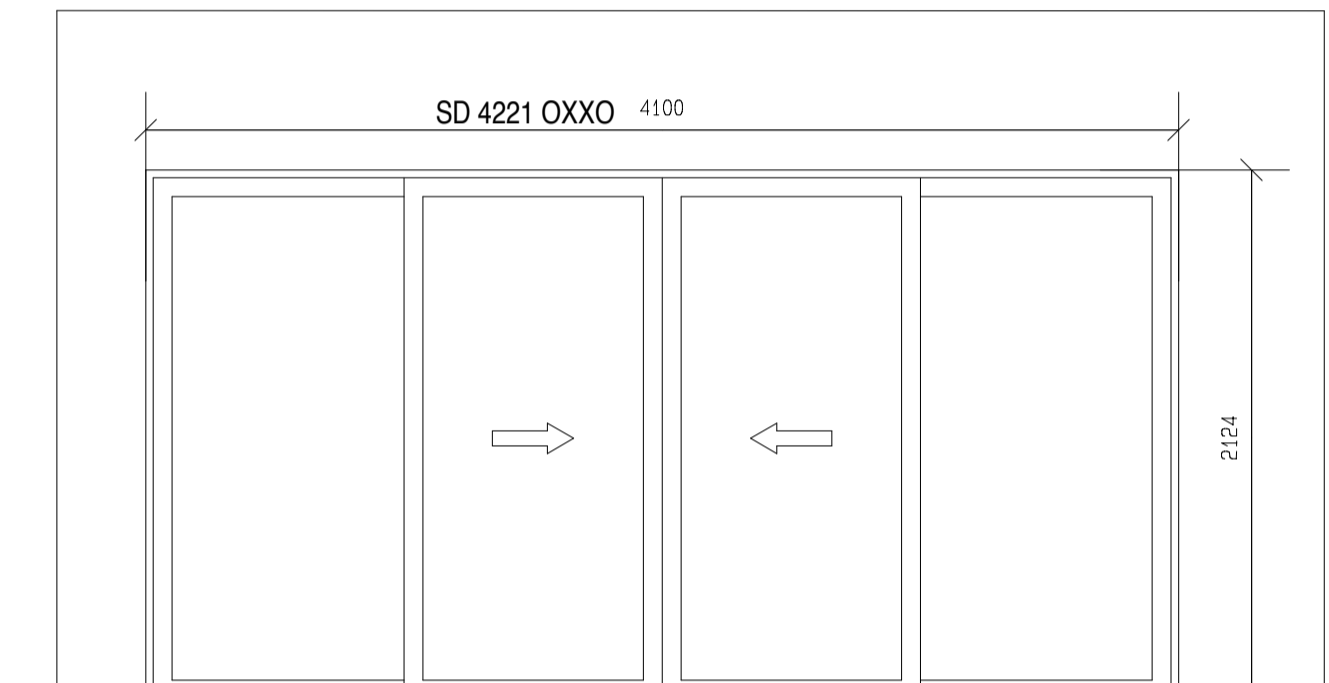
DOOR NO.	D8	NUMBER REQD.
FRAME DESCRIPTION	STANDARD 1.2mm THICK SINGLE REBATE MILD STEEL DOOR FRAME FOR 230mm WALL. FRAME COMPLETE WITH ONE PAIR STANDARD BUTT HINGES.	
FRAME FINISHING	SAND DOWN. APPLY TWO COATS POLYURETHANE ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
DOOR DESCRIPTION	2032x813x40mm THICK T&G FRAMED LEDGED AND BATTEN MERANTI DOOR WITH REBATE FLUSH PANEL INSIDE. SUPPLY STANDARD WEATHER BAR.	
DOOR FINISHING	INTERNAL: PREPARE AND CLEAN. APPLY TWO COATS POLYURETHANE VARNISH. SANDPAPER LIGHTLY BETWEEN COATS. EXTERNAL: PREPARE AND CLEAN. APPLY TWO COATS F.P.R. WOODSHIELD.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



DOOR NO.	D9	NUMBER REQD.
FRAME DESCRIPTION	MUTUAL: DS1 6mm RECORDROOM DOOR +/-230kg COMPLETE WITH 7 BOLTS OF 30mm DIA. AND 7 LEVER SECURITY KEYLOCK. INSTALLED STRICTLY ACCORDING TO MANUFACTURER'S SPECIFICATION. FINISH: FACTORY APPLIED PRIMER. PREPARE AND CLEAN. APPLY ONE COAT UNIVERSAL UNDERCOAT AND TWO COATS POLYURETHANE ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
FRAME FINISHING	SAND DOWN. APPLY TWO COATS POLYURETHANE ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
DOOR DESCRIPTION	2032x1000x40mm THICK SOLID CORE DOOR WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES. SUSPENDED FROM EXISTING SLIDING MECHANISM.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



DOOR NO.	D10	NUMBER REQD.
FRAME DESCRIPTION	NONE.	
FRAME FINISHING	NO ACTION.	
DOOR DESCRIPTION	NEW 2032x1000x40mm THICK SOLID CORE DOOR WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES. SUSPENDED FROM EXISTING SLIDING MECHANISM.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	



DOOR NO.	W7	NUMBER REQD.
FRAME DESCRIPTION	NONE.	
FRAME FINISHING	NO ACTION.	
DOOR DESCRIPTION	NEW 2032x1000x40mm THICK SOLID CORE DOOR WITH 3mm THICK TEMPERED HARDBOARD SIDES AND CONCEALED HARDWOOD EDGES. SUSPENDED FROM EXISTING SLIDING MECHANISM.	
DOOR FINISHING	PREPARE AND CLEAN. APPLY ONE COAT WOOD PRIMER AND TWO COATS POLYURETHANE VELVET ENAMEL. SANDPAPER LIGHTLY BETWEEN COATS. COLOUR ACCORDING TO ARCHITECT.	
FANLIGHT	NONE.	
IRONMONGERY AND SUNDRIES	SEE SPECIFICATION.	

- GENERAL NOTES**
- All general notes apply to all drawings, details, specifications & any supplementary information; all contractual documentation.
 - The contractor is responsible for checking all levels & dimensions on site when setting out, prior to commencing construction & cross checking all building dimensions during the construction process. Read only figured dimensions, indicated in millimetres, & do not scale. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
 - The contractor is responsible for the works co-ordination & programming of the works. All consultant & shop drawings are to be cross checked with DPWL drawings. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
 - The contractor is responsible for reporting any deviation from DPWL drawings & specifications. Written approval is required from edifice design prior to construction & installation commencing.
 - DPWL accepts no responsibility for errors resulting from the misinterpretation of drawings or specifications. If in doubt, query details.
 - The contractor is responsible for: compliance with all applicable SABS 0400 standards, manufacturer's installation instructions, procedures & recommendations & local authority regulations in respect of the full scope of the works. This requirement shall not be deemed to be superseded by the provisions of any other contract document.
 - The contractor is responsible for construction procedures & methodology being carried out & implemented in strict accordance with the latest occupational health & safety act & regulations.
 - The contractor is responsible for checking all opening sizes & vertical & horizontal position prior to the construction, manufacture & installation of fitted items. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
 - The contractor is responsible for the provision of guarantees for all materials, installations & systems, to be issued to DPWL at practical completion.
 - All structural work is to be designed, detailed, specified & supervised by the structural engineer & is to be carried out in strict accordance with this. All structural work is to be built from the engineer's drawings and the stability is to be certified by the structural engineer on completion of the works.
 - Drawings are only to be read for the purpose intended.
 - Refer to project data sheet for comprehensive notes & specifications.

- DOOR AND WINDOWS:**
All external doors and windows to have aluminium frames as per SABS specifications. Internal doors to be flush panel semi-solid with hardwood frames provided with one pair 100mm brass butt hinges and lock set. Windows glazing to be in accordance with NBR. Bathroom and WC windows to be obscure.
- GLAZING:**
All Glazing unless specified Clear laminated sound control safety glass, complying with SANS 1263 Part 1, 2 or 3 with name of the manufacturer permanently marked on each sheet visible after glazing, glazed in accordance with NBR N schedule 1 and SABS 0137.
- Glass Properties:**
• Shading Coefficient = 0.47 to 0.70
• Light Transmission Level = 61 to 95
- Specified: Obscure glazed unit, glazed in accordance with NBR N schedule 1 and SABS 0137.
- Glass Properties:**
• Shading Coefficient = 0.58 to 0.75
• Light Transmission Level = 59 to 83
- EXTERNAL WORKS:**
ALL Paving to be laid on well compacted AND consolidated ground to engineer's detail. Soil poisoning shall be provided under paving in accordance to Engineer's specifications.
- CONCRETE:**
All proposed and existing concrete works, paving AND storm water reticulation to be specified, verified and approved by engineer.
- PLASTER:**
Internal plaster to be 10 to 15mm thick, cement /sand ratio of 1:5 plaster sealed, 1 undercoat, 2 coats 'wall n all' paint. Colour to be approved.
- EXPANSION JOINTS:**
Expansion (control) joints where deemed necessary by engineer to be formed with a continuous strip of 12mm bitumen impregnated soft-board between 230mm brick walls. To be sealed internally and externally with 10mm deep polysulphide sealant.
- INSULATION:**
50mm AluTherm AP polyester fibre blanket laminated to 4mm white bubble layer on one side and reinforced foil facing on other, complying with SANS 1381-1:2007, laid and stapled horizontally on top of timber rafters and bracing before fixing of roof sheeting (elsewhere specified).

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REV NO.	DATE	REVISION

DEPARTMENT
LIMPOPO
PROVINCIAL GOVERNMENT
REPUBLIC OF SOUTH AFRICA
DEPARTMENT OF
PUBLIC WORKS, ROADS & INFRASTRUCTURE
Limpopo Department of Public Works, Roads and Infrastructure's Strategic Planning and Design Hub.
43 Church Street, Polokwane, 0700
(015) 284 7000/1

PROJECT TITLE
MASIA: TRIBAL OFFICE FOR THE DEPARTMENT OF TRADITIONAL AFFAIRS

DRAWING TITLE
DOOR SCHEDULE

SCALE	N/A	DRAWN	T.CELE
DATE	14_08_2018	CHECKED	T.CELE

SIZE	PROJECT NO.	STAGE	DRAWING NO.	REV.
A1	TO_19000	C	TO_19000_200	0